

APPENDIX

1. Plat of Survey – Former Central Middle School Site (PIN 28-30-404-025-0000)
2. Excerpt from the Legacy Plan – Illustrative Master Plan
3. Excerpt from the Legacy Plan – Downtown Core Illustrative Master Plan
4. Excerpt from the Legacy Code – Downtown General Zoning Code
5. Ordinance 2011-O-036 – Amendment to the Comprehensive Building Code (Fire Walls & Partitions, Floor Areas, and Wall Construction for Group R Occupancies)
6. Stormwater Analysis and Flow Chart
7. TIF Map – Main Street South TIF District

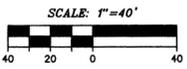
ALTA/ACSM LAND TITLE SURVEY

BY
PAUL R. STANCATO
 LAND SURVEYING & CONSULTING SERVICES
 ILLINOIS REGISTERED LAND SURVEYOR

PAUL R. STANCATO

**LAND SURVEYING &
 CONSULTING SERVICES**

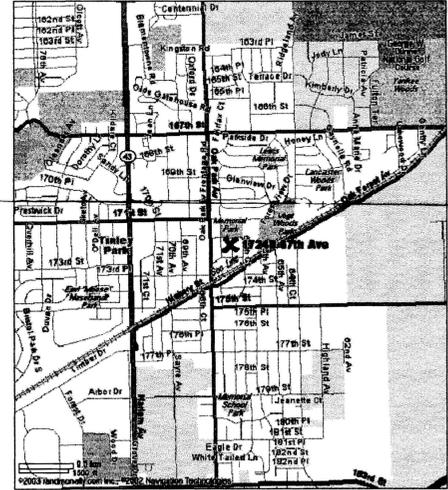
8243 WEST LINCOLN HIGHWAY
 FRANKFORT, IL 60423
 PHONE (815) 464-7070
 FAX (815) 469-7477



BASIS OF BEARINGS:
 ASSUMED THE CENTERLINE
 OF WEST 172nd STREET
 TO BE:
 S 88°34'11" E

LOTS 23 TO 39, INCLUSIVE, THE VACATED 14 FOOT NORTH/SOUTH ALLEY, LYING EAST OF AND ADJACENT TO LOTS 23 TO 29, INCLUSIVE, AND THE VACATED 14 FOOT EAST/WEST ALLEY, LYING NORTH OF AND ADJACENT TO LOTS 37 AND 39, ALL IN NIELSEN'S SUBDIVISION (EXCEPT THE SOUTH 200.00 FEET OF THE WEST 266.00 FEET) OF BLOCK 2 IN VILLAGE OF BREMEN, IN SECTIONS 30 AND 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS.

VICINITY MAP NOT TO SCALE

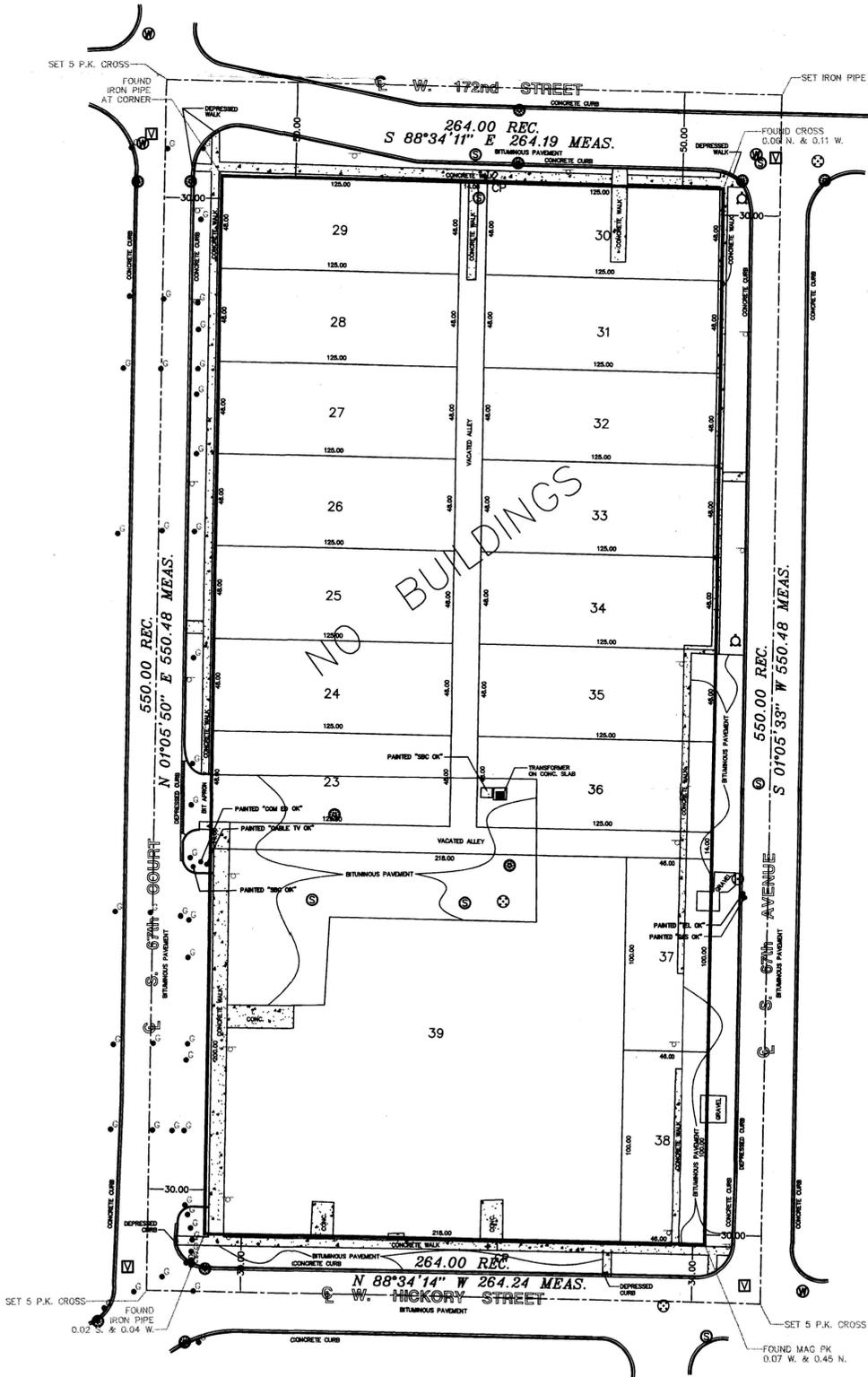


LEGEND

- BOUNDARY LINE
- INTERIOR BLOCK LINES
- CENTERLINE ROW
- ⊙ CATCH BASIN
- ⊙ SANITARY MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ TRANSFORMER
- ⊙ VALVE VAULT
- ⊙ MANHOLE
- ⊙ SIGN
- ⊙ PAINTED GAS MARK

AREA BREAKDOWN

TOTAL (NET): 145443.3675 SQ. FT. ± 3.3389 ACRES ±



NOTES:

1. SET 1/2" IRON PIPE (3/4" O.D.) AT ALL LOT CORNERS UNLESS SHOWN HEREON AS OTHERWISE.
2. MAXIMUM POSITIONAL TOLERANCE OF CORNERS IS 0.02 FEET.
3. CONTACT JULIE AT 1-800-892-0123 AND MUNICIPALITIES FOR VERIFICATION OF UNDERGROUND UTILITIES BEFORE DIGGING OR ANY OTHER CONSTRUCTION. THOSE MARKINGS NOTED ON THIS SURVEY ARE TAKEN FROM FIELD MARKINGS OF OTHERS.
4. WATERMANS, SANITARY AND STORM SEWERS AS SHOWN HEREON ARE DEPICTED FROM VISIBLE EVIDENCE LOCATED IN THE FIELD.
5. THIS SURVEY REFLECTS CERTAIN MATTERS OF TITLE AS INDICATED WITH CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER 1401-008168731 D1 EFFECTIVE DATE OF 9/4/2003.

CERTIFIED TO: CHICAGO TITLE INSURANCE COMPANY
 VILLAGE OF TINLEY PARK

STATE OF ILLINOIS } ss
 COUNTY OF WILL

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WAS MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 10, 11, 13 AND 16 OF TABLE A THEREOF.

PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT PROPER FIELD PROCEDURES WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS," EXCEPT FOR UNDERGROUND DRAIN TILES AND UTILITIES NOT VISIBLE BY SURFACE INSPECTION.

GIVEN UNDER MY HAND AND SEAL THIS 28TH

DAY OF NOVEMBER A.D., 2003

Paul R. Stancato
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3054
 LICENSE EXPIRES 11-30-2004

CALL JULIE
 48 Hours (2 working days) Before You Dig.
 1-800-892-0123

EFFECTIVE JULY 1, 2002
POLICY RESOLUTION 202-01, RELATING TO EXCAVATOR IDENTIFICATION ON UTILITY LOCATE REQUESTS, STATES THE FOLLOWING: UTILITY LOCATE REQUESTS INCLUDING THOSE FROM HOMEOWNERS WILL ONLY BE ACCEPTED FROM THE EXCAVATOR OR A PERSONAL REPRESENTATIVE/EMPLOYEE OF THE COMPANY ENGAGING IN THE EXCAVATION ACTIVITY.

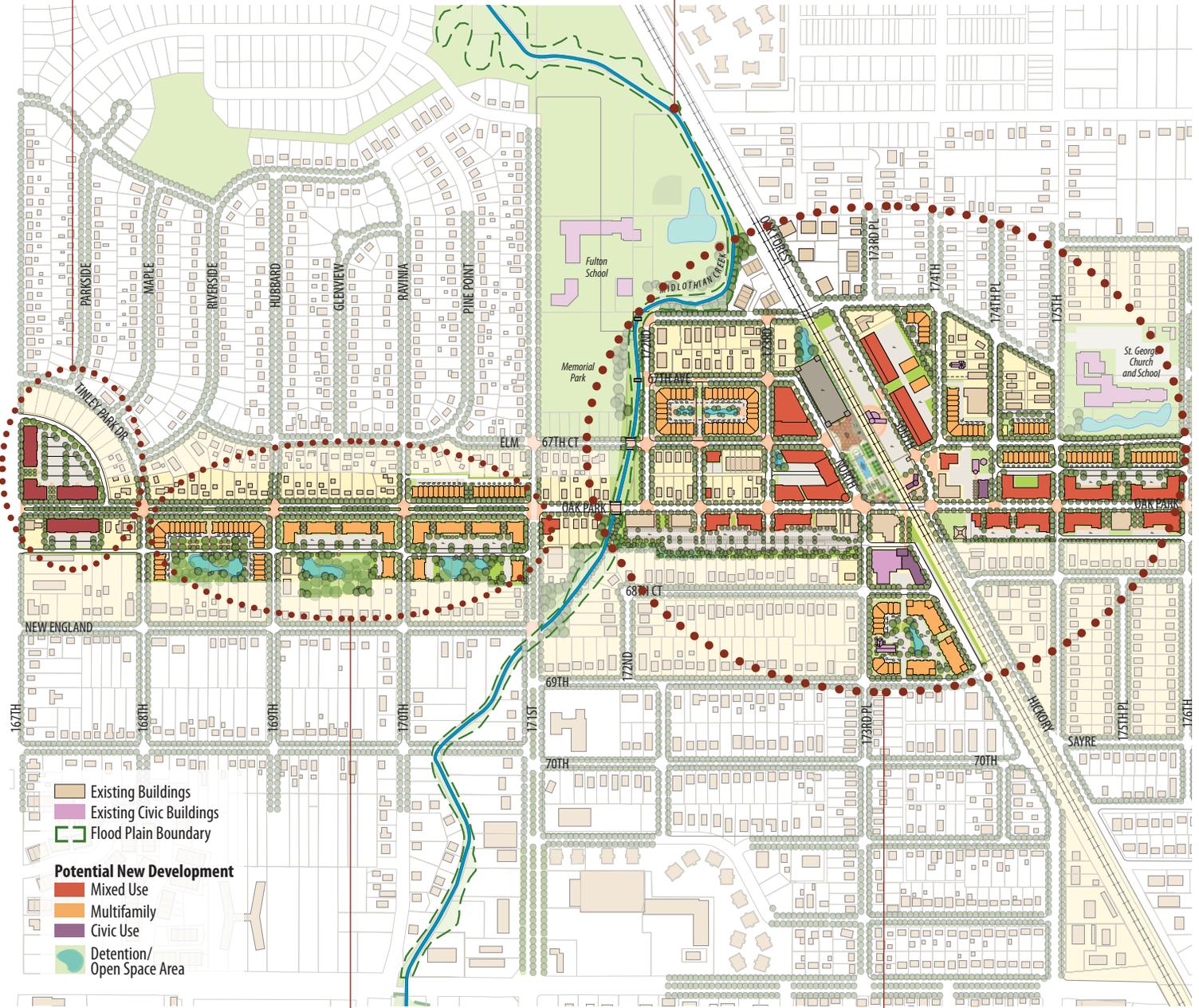
FLOOD ZONE CERTIFICATE
 BASED UPON NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 170189-0005E EFFECTIVE DATE OF 5/15/86, SUBJECT PROPERTY APPEARS TO BE IN FLOOD ZONE C. THIS IS SUBJECT TO FLOOD MAP IRREGULARITIES AND SCALING ERRORS.

JOB NUMBER: FF-03-1252	DRAWN BY: CRH	CHECKED BY: PRS
CLIENT: SCHOOL DISTRICT #146	SCALE: 1" = 40'	DATE: 10/18/03
LOCATION: 17248 S. 67TH AVENUE TINLEY PARK, IL	FIELD WORK COMPLETED: 10/17/03	XREF JOB NUMBER: 01-20816
DESCRIPTION: ALTA	Yr Bk Pg: NOTES	

Illustrative Master Plan

North Gateway
to downtown Tinley Park with
attractive neighborhood retail

Midlothian Creek
as a major Downtown
open space amenity



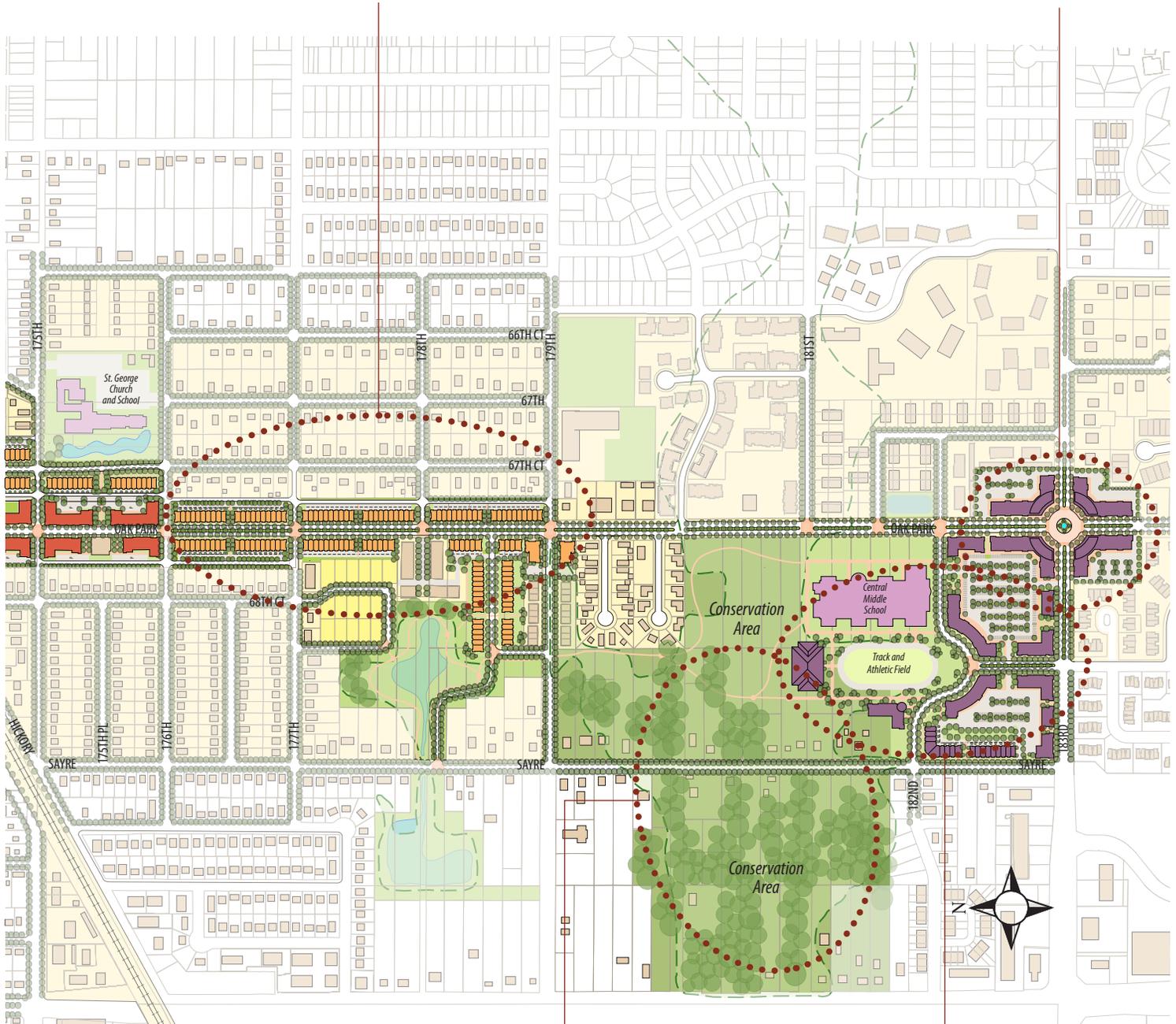
North Oak Park Avenue
showcasing long term transition from
commercial to residential uses along a
landscaped boulevard

A well defined and distinct Downtown Core
with retail and taller mixed-use buildings
concentrated around the train station

A Corridor of Special Places

South Oak Park Avenue
showcasing long term transition from commercial to residential uses along a landscaped boulevard

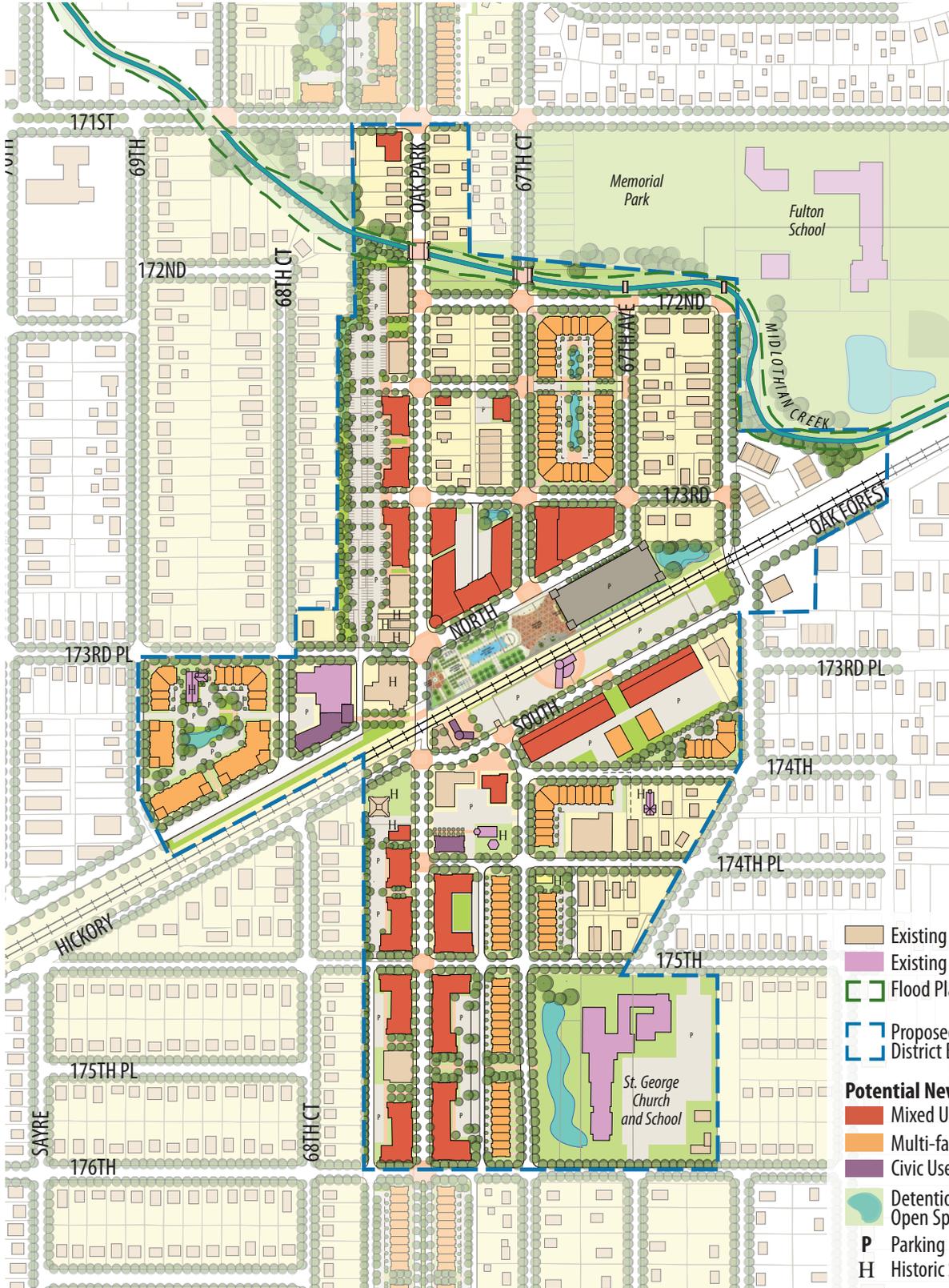
South Gateway
with a landscaped roundabout and distinctive architecture



Conservation Area
to preserve the existing floodplain and tree groves

South Campus
showcasing civic, institutional and other compatible uses around shared open areas

Downtown Core Illustrative Master Plan



- Existing Buildings
- Existing Civic Buildings
- Flood Plain Boundary
- Proposed Downtown District Boundary
- Potential New Development**
- Mixed Use
- Multi-family
- Civic Use
- Detention/ Open Space Area
- P** Parking
- H** Historic Significance

The Downtown Core is the hub and catalyst of this plan. The vision for the Core includes a concentrated central retail area featuring dense residential development, access to regional transit, recreational and entertainment amenities, and civic buildings and uses, all arranged in a coordinated grid that, while accommodating to the automobile, is designed primarily for the comfort and safety of the pedestrian.

The Core will accommodate greater residential densities, much of which will be housed in multi-storey mixed-use buildings with retail, restaurant, and service businesses anchoring the lower floors. Such buildings will be the tallest found along the corridor and will be located at the front of parcels with parking and service amenities at the rear.

Due to the diagonal orientation of the train facilities that bisect the downtown, there exist numerous irregular block shapes. The previously approved North Street block makes the most of an unusually shaped block to create traditional storefronts on the ground floor with higher density residential condos in upper floors.

The central plaza, with its unique water feature, significant landscaping, and large event and concert space, will serve as Tinley Park’s grand civic open space in the spirit of Central Park in New York and Millennium Park in Chicago.

The Plan also envisions the preservation of several existing historic buildings, such as the Andres Block and the Vogt Building, to be enjoyed by future generations in their current state or as adaptive reuses. Other areas would be open to new, modern redevelopment, which should respect the historic context while providing the needed residential densities and business opportunities that will create a vibrant downtown setting.

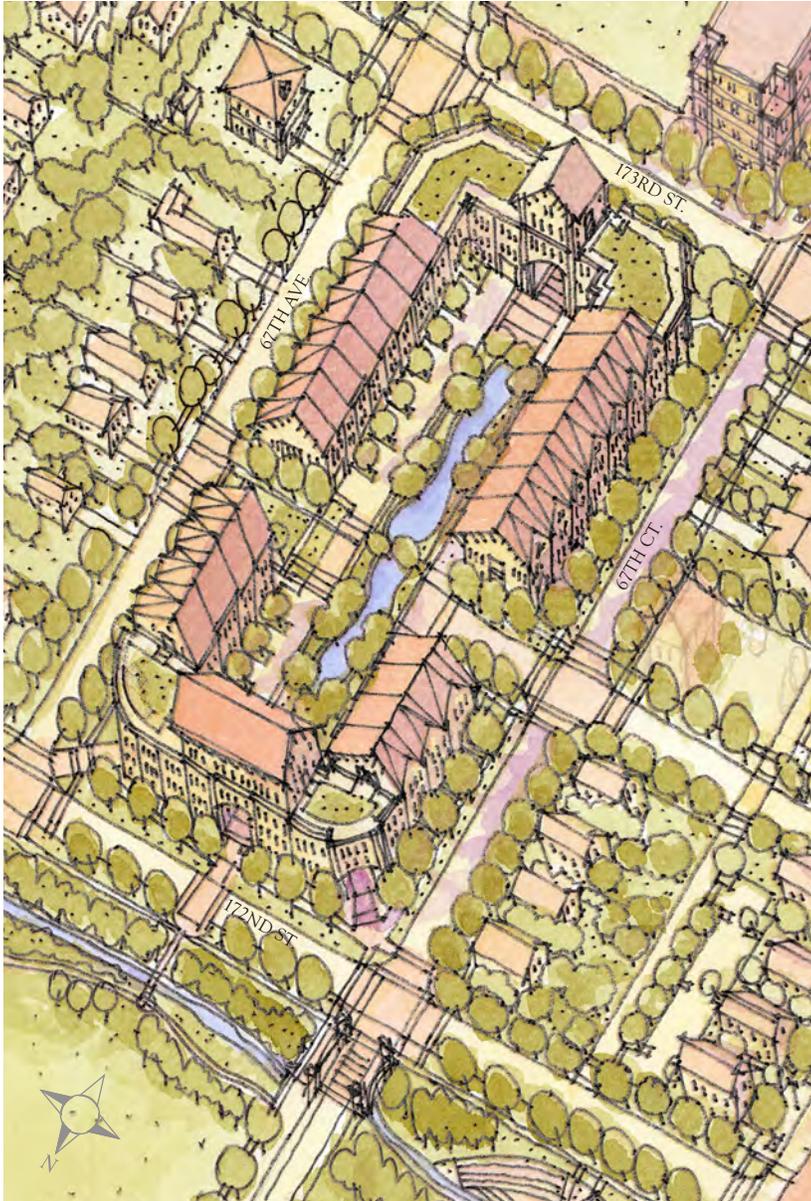


Examples of approved projects that will bring a mix of retail, restaurants and residences to the Core



A grand civic open space near the train station

Major Redevelopment Sites

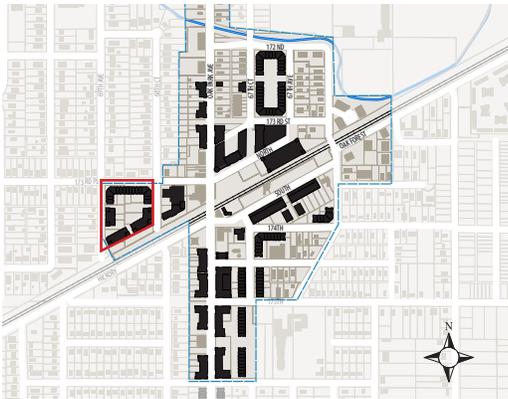


This Village owned 3.3 acre parcel, formerly the site of Central Middle School, is a prime development opportunity due to its size and proximity to the train station. The Plan recognizes the most appropriate use for this location to be medium density, single-family attached housing of a scale and aesthetic that will assist in the transition from the high density core to the neighboring single-family homes.

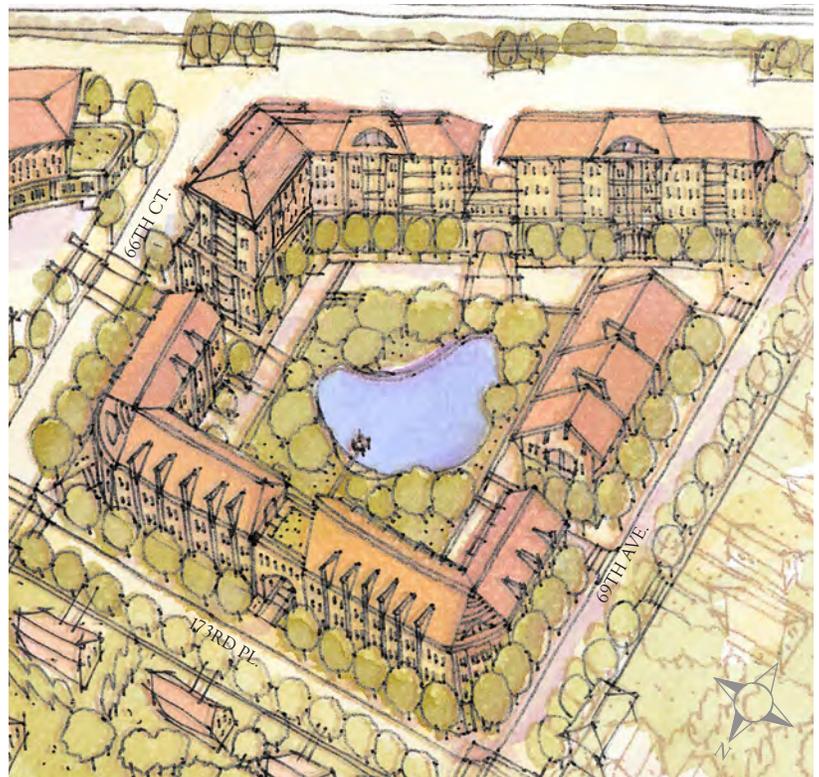
As the illustration at the top left shows, the ideal project would include row houses along the streets with parking and garages located at the rear and accessed via a private drive or public alleyway. The interior of the block will provide open space for the residents, as well as the opportunity for storm water detention. It is also envisioned that openings in the building massing will provide vistas and pedestrian pathways through the middle of the block, which will serve to strengthen the connection between the Downtown Core to the south and the recreational amenities to the north.



Rowhouses along the street with pedestrian connections to interior green spaces - The Glen, Glenview, IL



Urban rowhouses creating an attractive street wall, Chicago



This 3.7 acre site, currently occupied by a light industrial use, some single-family housing and a church, should be redeveloped to provide needed residential units in the Downtown Core and around the train station. The Plan looks to create a unique development that makes the most of the block's irregular shape and existing civic use, while remaining sensitive to the neighboring single-family houses and capitalizing on the adjacent railroad tracks.

As the illustration to the right shows, the preferred development pattern would situate row houses along those streets abutting single-family houses, and place higher density multifamily buildings along the railroad tracks, both with parking and garages located at the rear and accessed via a private drive or public alleyway. A new road between the railroad tracks and the multifamily buildings will improve the network of street connections in the area and provide additional access to the development. More public parking, similar to that on the south side of the tracks, can also be incorporated along this stretch of road.

The interior of the block will provide open space for the residents, as well as opportunities for storm water detention facilities. Through educational signage and community outreach programs, the site can also serve as a model for best practices in storm water management and landscape design.

Wherever practical, this Plan seeks to retain those special places – be it a physical structure or nostalgic landmark – in and around the Downtown Core. In this block exists the opportunity to celebrate the existing church. Thus, the Plan strongly encourages the continued operation of the existing church, or its adaptive reuse and incorporation as a key element of any redevelopment scenario.

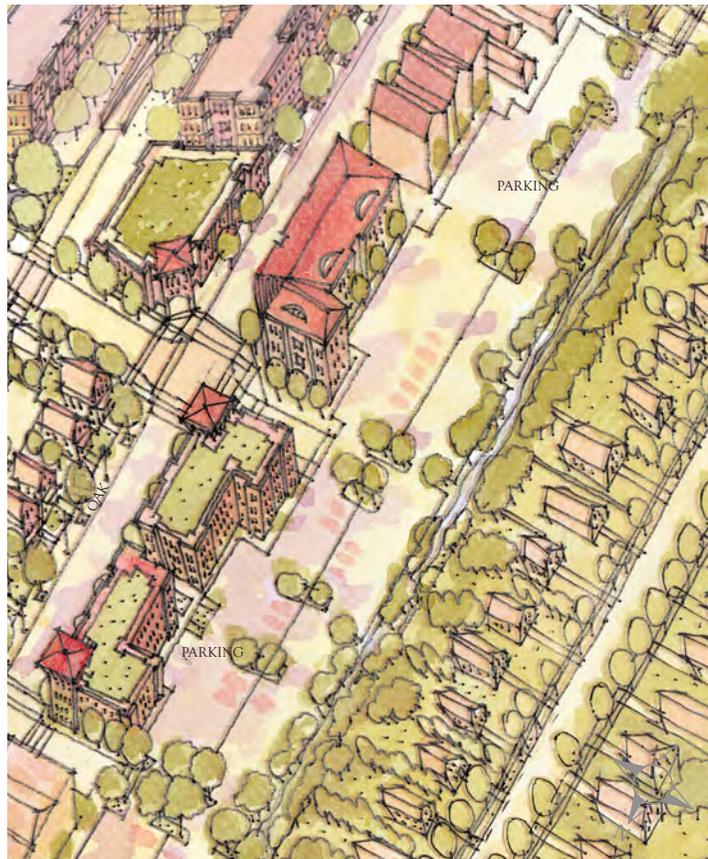
Major Redevelopment Sites (continued)

In recent years, the section of Oak Park Avenue between Midlothian Creek and the railroad tracks has undergone significant changes, including the replacement of some of the original building stock with higher density, mixed-use structures and the conversion of residential housing into commercial businesses. This Plan looks to encourage the continuation of such redevelopment and adaptive reuse scenarios, and sets forth a vision that will unify the anticipated piecemeal redevelopment over time of the existing building stock along this corridor.

As the illustration to the right reveals, the Plan encourages the continuation of 3 to 4 storey, zero lot line, mixed-use buildings with street level retail along the west side of Oak Park Avenue. An important component in the success of this pattern of building typology will be the creation of a shared parking field at the rear of the properties. At full build-out, there is sufficient space to provide over 200 parking spaces, which will be accessed via a group of consolidated and strategically placed curb cuts along Oak Park Avenue. An overall reduction of curb cuts along the street will result in continuous sidewalks and greater opportunity for streetscape improvements, such as landscaping and street furniture.

The Plan promotes the continuation of the style and scale of the 1 to 2-storey buildings that currently define the east side of Oak Park Avenue. These parcels should also share parking fields and consolidate curb cuts wherever possible in order to mirror the streetscape envisioned for the west side of the street.

The realignment of 173rd Street will create a new, traditional intersection and allow for a new building with an articulated corner that will assist in the transition of the low density block into the high density building anticipated for North Street. This section of Oak Park Avenue will also showcase many of the sustainable practices that the Plan recommends, including green roofs, rain barrels, porous paving and bio swales.



Regional examples of mixed-use buildings with retail at the ground floor and residences above



The Plan strongly recommends the placement of a civic use in or around the Downtown Core. This site, the previous location of the Village Hall and current home of the Public Safety Department, can be expanded or redeveloped to accommodate a civic use that can become a destination and anchor for the Downtown Core. In addition, this is an opportunity to create a signature building to the west of Oak Park Avenue that complements the iconic train station to the east.



A civic building anchors the Village of Flossmoor's downtown



The Tinley Park train station is an architectural icon for the Downtown

3. Regulating Plan - Improvements > 50% (DG)

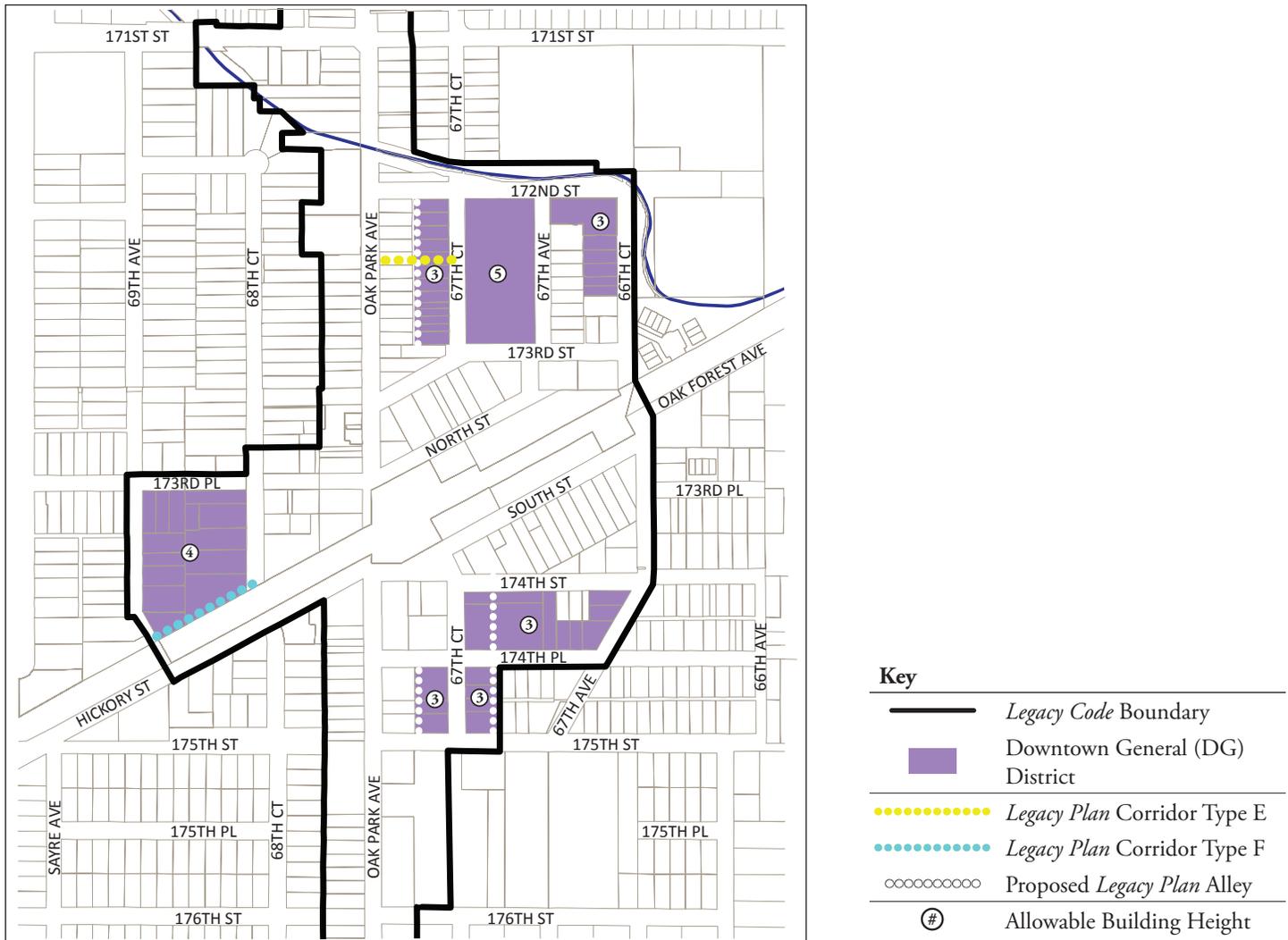


Figure 2.C.2 - Downtown General Regulating Plan

4. General Standards (DG)

Permitted Building Functionality					On-Site Vehicle Parking	On-Site Bike Parking
Street Level Commercial					n/a	0.2 per 1,000 s.f. (2 minimum)
Second Floor Office					n/a	0.2 per 1,000 s.f. (2 minimum)
Street Level Group Assembly					4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Second Floor Group Assembly					4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Civic					not required	0.2 per 1,000 s.f. (2 minimum)
Residential		•	•		1 space per dwelling unit guest parking not required	1 per dwelling unit
A list of Special Uses and Prohibited Uses for the entire Legacy Code Area is located on pages 54-55					Design details for on-site vehicle parking and on-site bike parking are located on pages 58-59	
	Mixed-Use	Stand-Alone Commercial	Multi-Family	Single-Family Attached	Single-Family Detached	
				•	•	
						Permitted Building Type

Table 2.C.1

5. Corridor & Alley Requirements (DG)

a. Intent

The type and minimum degree of public and private improvements required within the Corridor or Alley areas shall be based upon the location and percentage of the total *lineal frontage* of a block to be assembled and/or improved as part of a project (see Table 2.C.2).

b. Applicability

This section shall apply to projects involving lot improvements greater than 50% of the market value of the property, as well as projects involving lot assemblage. Refer to page 32 for standards relating to single lot improvements less than 50% of market value (Heritage Sites).

c. Waivers

In those instances in which Village staff determines that it is impractical or impossible to complete all or a portion of the required improvements due to sequencing or physical constraints, or determines that unique circumstances exist relative to the subject site and/or block development, Village staff shall recommend to the Plan Commission to consider one or a combination of the following options:

1. Postpone the implementation of improvements to a date certain, and require the petitioner to provide a letter of credit, bond, or similar form of financial security in an amount equal to the estimated cost of such improvements as determined by Village staff;
2. Require cash in-lieu-of in an amount equal to the estimated cost of such improvements as determined by Village staff; and/or
3. Waive such improvements in whole or in part based upon the unique nature of the subject site and/or block development, either existing or proposed.

d. Required Improvements

Site Type	Corridor			Alley		
	Thoroughfare	Public Frontage	Private Frontage	Dedication to Village	Construct On-Site	Connect to Thoroughfare
> 75% of Block	●	●	●	●	●	●
Lot Assemblage > 40% of Block		●	●	●	●	●
Lot Assemblage < 40% of Block		●	●	●	●	
Single Lot > 10% of Block		●	●	●	●	
Single Lot < 10% of Block		●	●	●		
Block End (any %)		●	●	●	●	●

Table 2.C.2

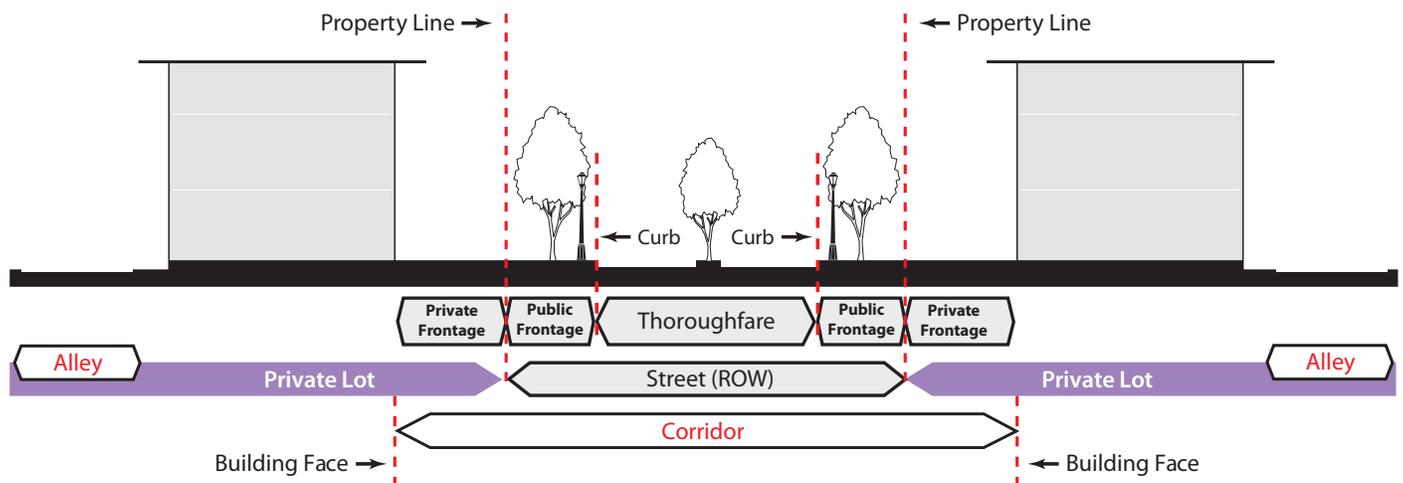


Figure 2.C.3 - Illustration of Terms

6. Thoroughfare & Alley Standards (DG)

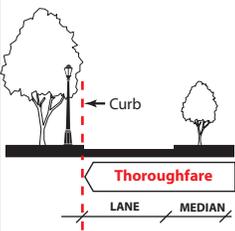
	Thoroughfare	Landscape Median	On-Street Parking	Thoroughfare Width (Curb to Curb)	Design Details
	Standard Corridor		●	30'	see pages 92-95
	Corridor Type E		●	41'	
	Corridor Type F		●	58'	
	Alley			20'	

Table 2.C.3

7. Public Frontage Standards (DG)

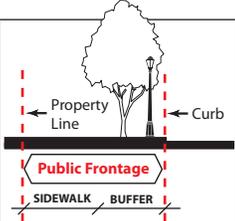
	Thoroughfare	Minimum Side-walk Width	Minimum Buffer Width	Landscaping Details	Lighting Details
	Standard Corridor	5'	12'	see pages 62-63	see pages 66-67
	Corridor Type E	5'	6'		
	Corridor Type F	5'	8'		

Table 2.C.4

8. Private Frontage Standards (DG)

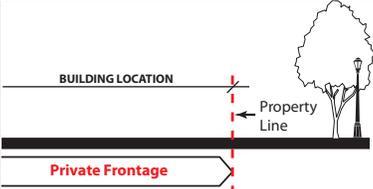
	Permitted Private Frontages	
	Description	Standards
Corner	A building treatment oriented to address an intersection and allow for direct access to commercial or residential uses from the public frontage.	Entrance at sidewalk grade.
Grand Entry	An entry treatment with or without a staircase that provides access to building lobbies serving office or residential uses.	Entrance inset from façade - 5' max. Stairs may encroach into front yard setback.
Stoop	An entrance treatment with a staircase that may be covered and provides access to a private residential dwelling.	Stairs may encroach into front yard setback.
Flush	An entrance treatment built at sidewalk grade that may be covered and provides access to a private residential dwelling.	None

Table 2.C.5

9. Private Lot Standards (DG)

General		
Minimum Lot Width	20'	
Maximum Lot Width	n/a	
Minimum Building Height	2 stories	
Building Setbacks		
Front Yard (primary street)	5-15'	A
Front Yard (secondary street)	5-15'	A
Side Yard (interior)	5' max.	B
Side Yard (along access drive)	5' min.	C
Rear Yard (existing alley)	5' min.	D
Rear Yard (no alley required)	5' min.	D
Rear Yard (future alley)	30' min.	E
Parking Setbacks		
Front Yard (primary street)	25' min.	F
Front Yard (secondary street)	10' min.	G
Side Yard (interior)	0'	H
Side Yard (along access drive)	5' min.	I
Rear Yard (existing alley)	5' min.	J
Rear Yard (no alley required)	5' min.	J
Rear Yard (future alley)	30' min.	K
Alley & Access Road Setbacks		
Alley Rear Yard Setback	5' min.	L
Alley Location	see page 60	M
Access Road Location	see page 61	N
Accessory Structures		
Permitted Location	Parking Zone	

Table 2.C.6

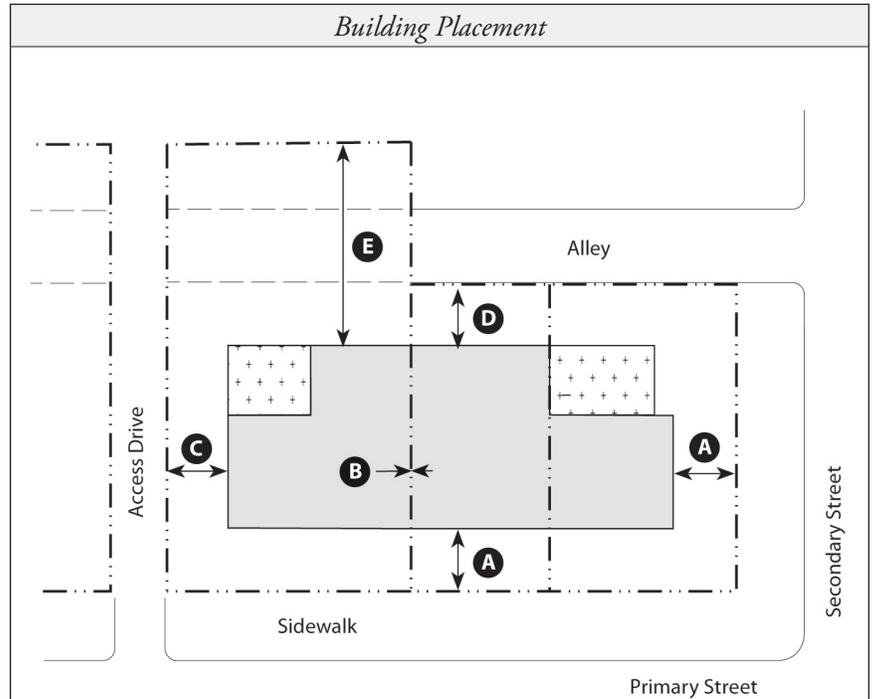


Figure 2.C.4

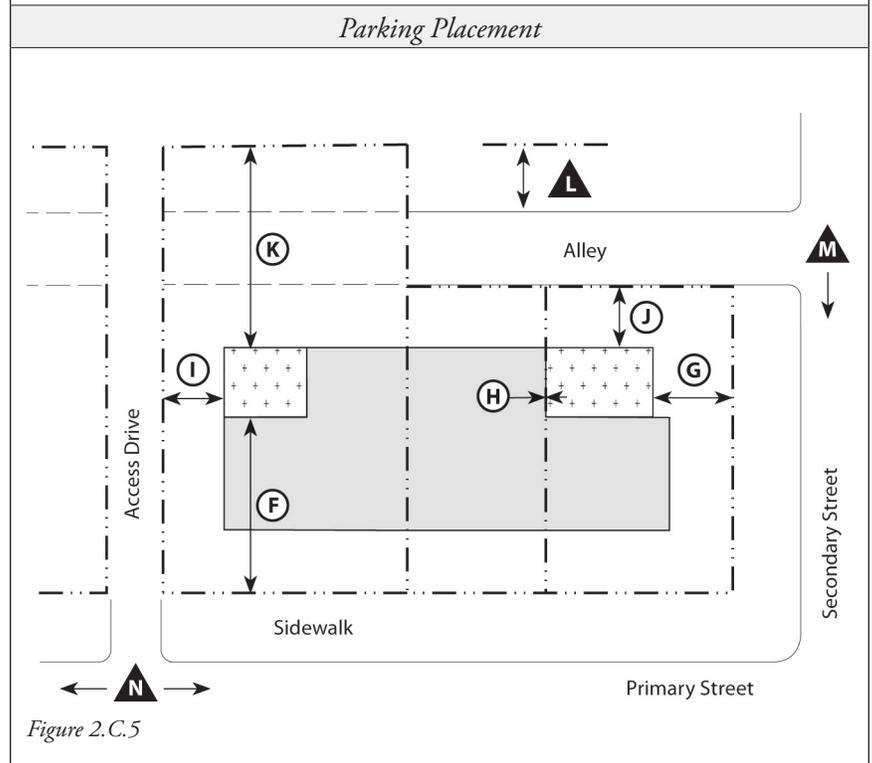


Figure 2.C.5

- Property Line
- Building Zone
- ▤ Parking Zone

10. Heritage Sites (DG)

Heritage Sites are those lots with structures and uses that were lawfully existing prior to the adoption of the *Legacy Code*. Heritage Sites are generally classified as such until they incur site improvements that exceed 50% of the property's market value.

a. Intent

The intent of this section is to establish regulations that govern the use and voluntary modification of Heritage Sites, and to specify the circumstances and conditions under which such properties are required to implement certain improvements aimed at decreasing their degree of non-conformity, if applicable. The purpose is to meet the goals of the *Legacy Plan* while protecting the interests of Heritage Site owners and tenants.

b. Applicability

This section shall apply to projects involving lot improvements less than 50% of a property's market value as well as changes of property ownership and/or building use within the Downtown General District only (see Figure 2.C.6).

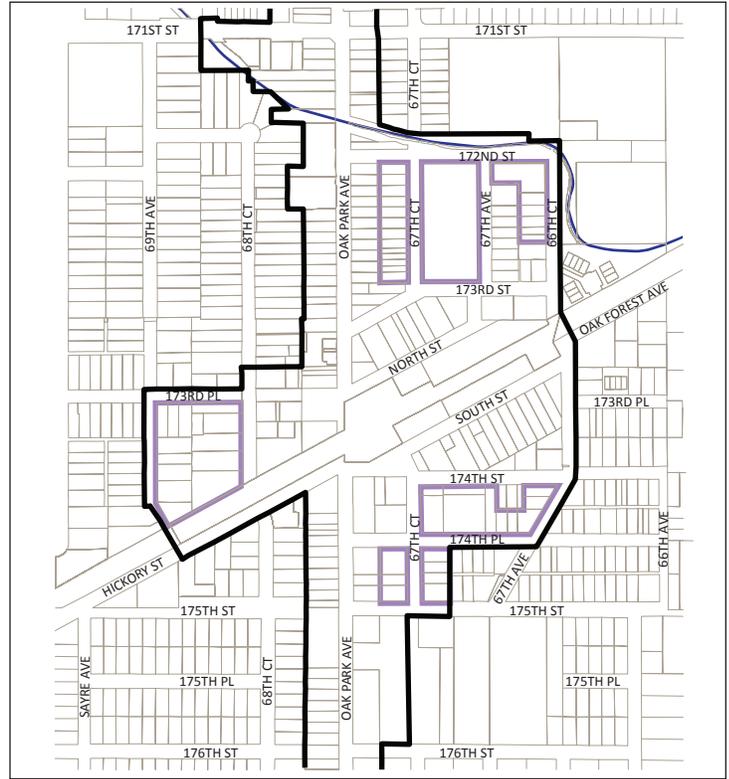


Figure 2.C.6

Key

- Legacy Code Boundary
- DG Heritage Site Blocks

c. General Standards

Permitted Building Functionality					On-Site Vehicle Parking	On-Site Bike Parking
Street Level Commercial	●				<i>not required</i>	0.2 per 1,000 s.f. (2 minimum)
Second Floor Office					2 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Street Level Group Assembly	●				4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Second Floor Group Assembly	●				4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Civic					<i>not required</i>	0.2 per 1,000 s.f. (2 minimum)
Residential		●	●	●	1 space per dwelling unit <i>guest parking not required</i>	1 per dwelling unit
<i>A list of Special Uses and Prohibited Uses for the entire Legacy Code Area is located on pages 54-55</i>					<i>Design details for on-site vehicle parking and on-site bike parking are located on pages 58-59</i>	
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">Mixed-Use</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">Stand-Alone Commercial</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">Multi-Family</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">Single-Family Attached</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">Single-Family Detached</div> </div>						

Can be converted to a multi-family building.

<input type="checkbox"/>	●	●	●
<i>Existing Building Type</i>			

Table 2.C.7

11. Heritage Sites - Public & Private Improvements (DG)

a. Intent

The type and minimum degree of public and private improvements required shall be based upon the action being taken (Table 2.C.8).

b. Applicability

This section shall apply to changes in use or ownership, structure, Special Uses and map amendments within this district, with the exception of single family detached properties.

c. Waivers

In those instances in which Village staff determines that it is impractical or impossible to complete all or a portion of the required improvements due to sequencing or physical constraints, or determines that unique circumstances exist relative to the subject site and/or block development, Village staff may approve, or recommend to the Plan Commission for consideration when applicable, one or a combination of the following options:

1. Postpone the implementation of improvements to a date certain, and require the petitioner to provide a letter of credit, bond, or similar form of financial security in an amount equal to the estimated cost of such improvements as determined by Village staff;
2. Require cash in-lieu-of in an amount equal to the estimated cost of such improvements as determined by Village staff; and/or
3. Waive such improvements in whole or in part based upon the unique nature of the subject site and/or block development, either existing or proposed.

d. Required Improvements

<i>Action</i>	<i>Landscaping</i>		<i>Front Yard Parking</i>		<i>Access Drive</i>	<i>Alley</i>
	Public Frontage	Private Lot	Modify	Remove	Modify	Dedication
Change of Owner						•
Change of Use > 50% of Building						
Structure Expansion	•	•	•		•	•
Special Use		•	•		•	•
Map Amendment (Rezoning)		•	•		•	•
	see pages 62-63		see pages 58-59		see page 61	see page 60

Table 2.C.8

12. Heritage Sites - Private Sites Standards (DG)

a. Private Frontages

Permitted private frontages for this district shall follow Section 2.C.8 on page 30.

b. Building & Parking Placement

Building and parking placement for this district shall follow Section 2.C.9 on page 31.

c. General Provisions

All general provisions in Section 3 shall apply unless otherwise noted.

STATE OF ILLINOIS)
COUNTY OF COOK)SS.
COUNTY OF WILL)

CLERK'S CERTIFICATE

I, PATRICK REA, the duly qualified and acting Village Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois, do hereby certify that attached hereto is a true and correct copy of the Ordinance now on file in my office, entitled:

ORDINANCE NO. 2011-O-036

**ORDINANCE AMENDING SECTION 208, A OF THE COMPREHENSIVE BUILDING
CODE OF THE VILLAGE OF TINLEY PARK – FIRE WALLS & PARTITIONS,
FLOOR AREAS AND EXTERIOR WALL CONSTRUCTION FOR GROUP R
OCCUPANCIES**

which was passed by the Board of Trustees of the Village of Tinley Park at a regular meeting held on the 28th day of June, 2010, at which meeting a quorum was present, and approved by the President of Tinley Park on the 28th day of June, 2011.

I further certify that the vote on the question of the passage of said Ordinance by the Board of Trustees of the Village of Tinley Park was taken by the Ayes and Nays and recorded in the Journal of Proceedings of the Board of Trustees of the Village of Tinley Park, and that the result of the vote was as follows, to wit:

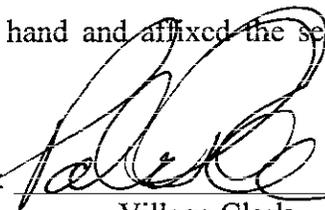
AYES: Seaman, Hannon, Maher, Staunton, Leoni, Grady

NAYS: None

ABSENT: None

I do further certify that the original Ordinance, of which the attached is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the Village of Tinley Park, this 28th day of June, 2011.

By: 
Village Clerk

PAMPHLET

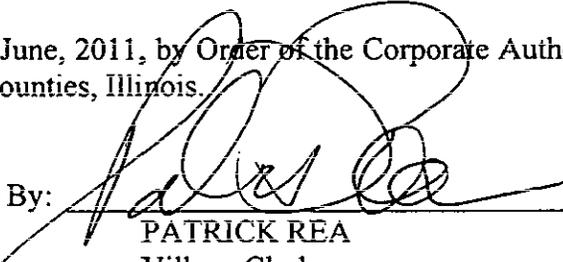
FRONT OF PAMPHLET

ORDINANCE NO. 2011-O-036

**ORDINANCE AMENDING SECTION 208, A OF THE COMPREHENSIVE BUILDING
CODE OF THE VILLAGE OF TINLEY PARK – FIRE WALLS & PARTITIONS,
FLOOR AREAS AND EXTERIOR WALL CONSTRUCTION FOR GROUP R
OCCUPANCIES**

Published in pamphlet form this 28th day of June, 2011, by Order of the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois.

By:


PATRICK REA
Village Clerk

ORDINANCE NO. 2011-O-036

ORDINANCE AMENDING SECTION 208, A OF THE COMPREHENSIVE BUILDING CODE OF THE VILLAGE OF TINLEY PARK – FIRE WALLS & PARTITIONS, FLOOR AREAS AND EXTERIOR WALL CONSTRUCTION FOR GROUP R OCCUPANCIES

SECTION 1: The Village hereby determines that the flexible construction design opportunities as well as improved life safety options set forth in Section 2 hereof are in the best interests of the Village and its residents, and would provide additional flexibility in how buildings are designed and constructed, while at the same time providing the necessary fire wall separation and life safety for multi-family residential development.

SECTION 2: That Section 208,A of the Comprehensive Building Code of the Village of Tinley Park be and is amended to read in its entirety as follows:

SECTION 208 - FIRE WALLS & PARTITIONS, FLOOR AREAS AND EXTERIOR WALL CONSTRUCTION FOR GROUP R OCCUPANCIES

- A. Provide a minimum two (2) hour fire rated masonry wall assembly between dwelling/sleeping units, and adjacent public or service areas of Group R-2 and R-3 occupancies (Section 310, 2006 ICC International Building Code). No openings are permitted between dwelling/sleeping units. Each wall assembly shall have an Underwriter Laboratories, Inc. (UL) Design Number listed in the most recent UL Fire Resistance Directory and meet the continuity requirements of Section 208-I of this code. A detail of each fire rated wall assembly shall be provided on the permit drawings; the UL Design Number must be indicated on the detail. The automatic sprinkler system must be designed and installed in accordance with Section 903.3.1.1 or 903.3.1.2 of the 2006 *ICC International Building Code* or as amended by Section 700 of this Code.

In lieu of constructing a masonry wall assembly, the following options may be used:

Option 1 - Provide a minimum two (2) hour fire rated shaft wall assembly. A current International Code Council (ICC) Evaluation Report must be submitted along with the permit drawings.

Option 2 - Provide a minimum two (2) hour fire rated triple drywall assembly. Provide a minimum two (2) hour fire rated wall assembly without openings for the center portion of the triple drywall assembly. The center portion of the triple drywall assembly shall have a UL Design Number listed in the most recent UL Fire Resistance Directory. A detail of each triple drywall assembly shall be provided on the permit drawings; the UL Design Number of the center portion of the assembly must be indicated on the detail. The outer portions of the triple drywall assembly shall have metal stud framing spaced a maximum of 24 inches apart and gypsum board having a minimum thickness of 1/2-inch.

Option 3 - Provide a minimum two (2) hour fire rated autoclaved aerated concrete wall assembly. A current ICC Evaluation Report shall be submitted along with the permit drawings.

If any of the above three options to masonry wall assemblies are used, the following requirements apply:

- The automatic sprinkler system shall be designed and installed in accordance with Section 903.3.1.1 of the 2006 *ICC International Building Code* and Section 9.7.1 of the 2003 edition of NFPA 101. Sections 8.14.1.2, 8.14.8.1.1 & 8.14.8.2 of the 2002 edition of NFPA 13 shall not apply.
- Special inspections shall be provided in accordance with Chapter 17 of the 2006 *ICC International Building Code* and as required by any ICC Evaluation Report. A copy of each special inspection report shall be submitted to the Building Department.
 1. Fire walls and party walls shall comply with Section 705 of the 2006 *ICC International Building Code*. Fire walls and party walls shall have sufficient structural stability under fire conditions to allow collapse of construction on either side of the wall without collapse of the wall.
 2. Fire partitions shall comply with Section 708 of the 2006 *ICC International Building Code*.
 3. Fire walls, party walls, fire partitions and fire rated floor/ceiling assemblies shall be constructed of approved, noncombustible materials.
 4. Provide a minimum two (2) hour fire rated floor/ceiling assembly between dwelling/sleeping units for Group R-2 and R-3 occupancies, between dwelling/sleeping units and other uses or between dwelling/sleeping units and adjacent public or service areas. Each floor/ceiling assembly shall have a UL Design Number listed in the most recent UL Fire Resistance Directory. A detail of each fire rated floor/ceiling assembly shall be provided on the permit drawings; the UL Design Number must be indicated on the detail.
 5. Sound transmission through vertical or horizontal separations between dwelling/sleeping units, between dwelling/sleeping units and other uses or between dwelling/sleeping units and adjacent public or service areas shall comply with Section 1207 of the 2006 *ICC International Building Code*. The Sound Transmission Class (STC) shall be not less than 50 for air-borne noise when tested in accordance with ASTM E 90. The Impact Insulation Class (IIC) shall be not less than 50 when tested in accordance with ASTM E 492. All openings (e.g., electrical outlets) shall be boxed or enclosed, with sound deadening approved material so that the completed assembly will not transmit more sound than transmitted by a STC/IIC rating of 50.

6. Each fire rated wall shall be effectively and permanently identified with signs or stenciling. Such identification shall:

- Be located in accessible concealed floor, floor/ceiling or attic spaces;
- Be repeated at intervals not exceeding 30 feet measured horizontally along the wall;

and

- Include lettering not less than 1/2 inch in height, incorporating the suggested wording: "FIRE RATED ASSEMBLY - PROTECT ALL OPENINGS" or other approved wording.

7. Exterior wall construction in all buildings with dwelling units that are located one above another shall be of solid masonry or of a non-combustible construction with brick veneer.

8. In all single-family detached, single-family attached and in all single-family semi-detached dwellings, exterior walls shall be constructed of face brick, decorative stone, or other approved masonry products. Said construction shall commence from the finished grade and shall extend to the uppermost portion of the first story of such dwellings.

9. When allowed, all through penetrations of fire rated walls and floor/ceiling assemblies shall comply with Section 712 of the 2006 *ICC International Building Code* and Section 8.3.5 of the 2003 edition of NFPA 101.

SECTION 3: A copy of this Ordinance shall be filed with the State of Illinois Capital Development Board immediately upon its passage.

SECTION 5: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form and this Ordinance shall be in full force and effect from and after its passage, approval and publication as required by law.

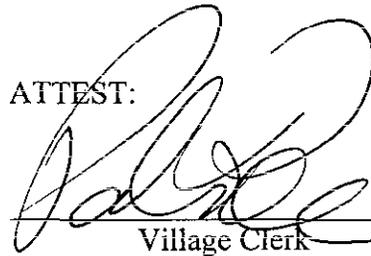
PASSED this 28th day of June, 2011, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

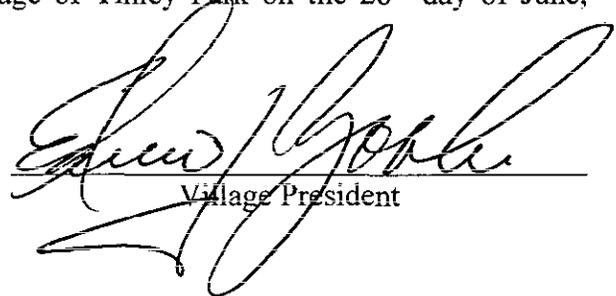
AYES: Seaman, Hannon, Maher, Staunton, Leoni, Grady

NAYS: None

ABSENT: None

APPROVED by the President of the Village of Tinley Park on the 28th day of June, 2011.

ATTEST:

Village Clerk

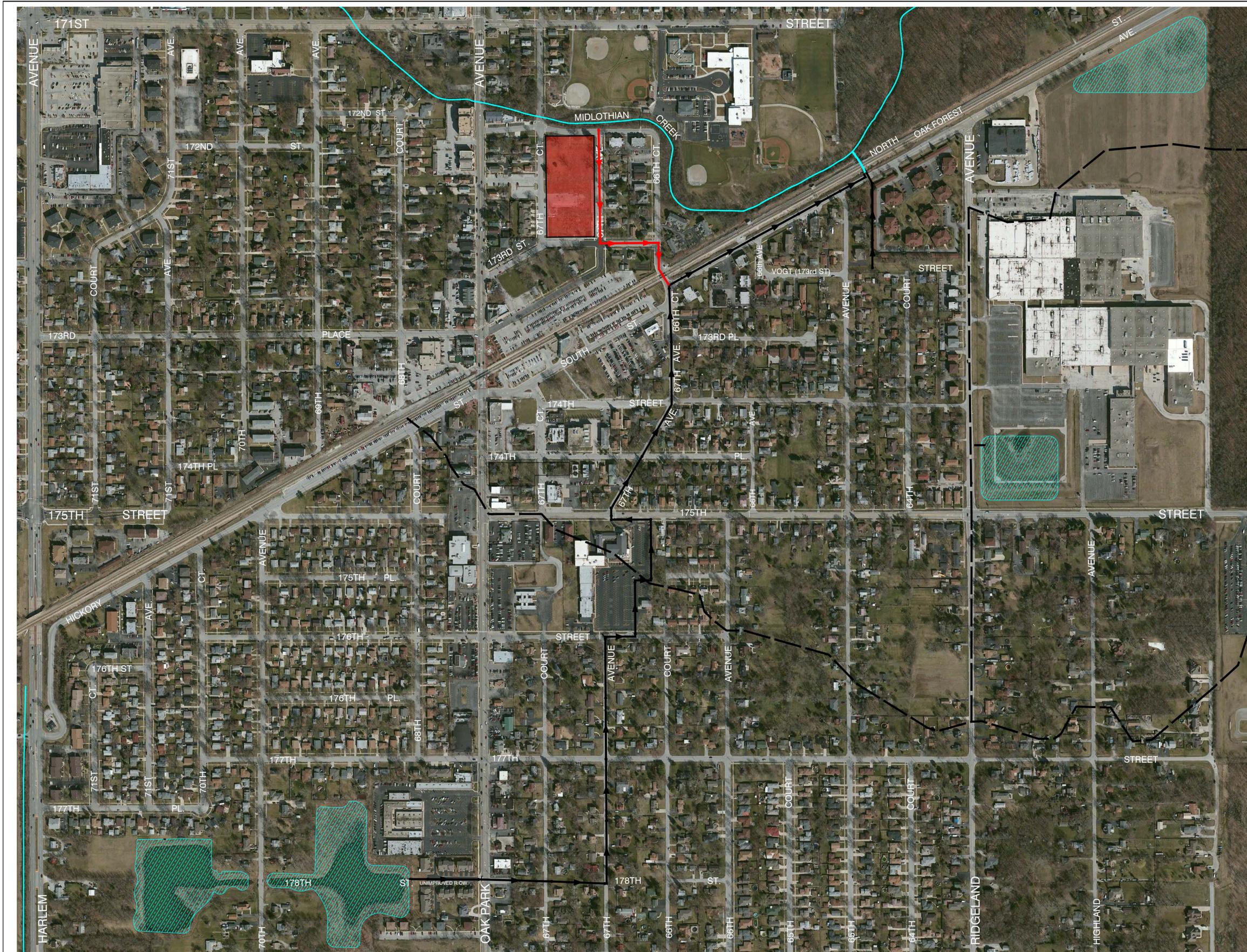

Village President

PAMPHLET
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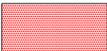
ORDINANCE NO. 2011-O-036

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Published in pamphlet form by Order of the Corporate Authorities of the Village of Tinley Park,
Cook and Will Counties, Illinois.



LEGEND:

-  PROPOSED DEVELOPMENT SITE
-  EXISTING BARRETT'S RELIEF SEWER & OUTLET FOR DETENTION
-  PROPOSED STORM SEWER BY DEVELOPMENT FROM DETENTION

FOR THE STORMWATER MANAGEMENT FOR THE OLD CENTRAL MIDDLE SCHOOL SITE, THE DEVELOPER SHOULD ASSUME THAT ALL SITE DETENTION, SITE RUN OFF AND VOLUME CONTROL IN ACCORDANCE WITH THE METROPOLITAN WATER RECLAMATION DISTRICT (MWRD) WATERSHED MANAGEMENT ORDINANCE (WMO) MUST BE PROVIDED ON SITE. THE WMO PERMITTING FLOWCHART FOR STORMWATER MANAGEMENT REQUIREMENTS AS OF 12-10-14 ARE PROVIDED IN THE PROPOSAL PACKET. THE OUTLET PIPE IS A 60 INCH STORM SEWER SOUTH OF THE RAILROAD TRACKS PER THE SITE EXHIBIT ALSO INCLUDED IN THE PROPOSAL PACKET. A STORM SEWER FROM THE DETENTION POND TO THIS OUTLET MUST BE CONSTRUCTED AS PART OF THIS DEVELOPMENT. IF A PERMIT APPLICATION CAN BE SUBMITTED TO THE MWRD PRIOR TO MAY 1, 2015, DETENTION REQUIREMENTS UNDER THE PREVIOUS MWRD SEWER PERMIT ORDINANCE WILL APPLY FOR THIS SITE AS LONG AS CONSTRUCTION IS COMPLETE WITHIN 3 YEARS.

ROBINSON ENGINEERING, LTD.
 CONSULTING REGISTERED PROFESSIONAL ENGINEERS
 AND PROFESSIONAL LAND SURVEYORS
 17000 SOUTH PARK AVENUE SOUTH HOLLAND, ILLINOIS 60473
 (708) 331-6700 FAX (708) 331-3826
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 ILLINOIS DESIGN FIRM REGISTRATION NO. 184001128

**CENTRAL MIDDLE SCHOOL
 PROPOSED DEVELOPMENT
 STORMWATER MANAGEMENT REQUIREMENTS**

TINLEY PARK, ILLINOIS

Drawn by: **LTL** Date: **12-11-14**
 Checked by: **JSP** Scale: **1"=500'**
 Sheet **1** of **1** Project No. **09-238.01**

REVISIONS		
No.	Date	Remarks

WMO PERMITTING FLOWCHART STORMWATER MANAGEMENT REQUIREMENTS

START HERE

DOES PROPOSED DEVELOPMENT INVOLVE AN EXISTING DETENTION FACILITY?

YES

FOLLOW REDEVELOPMENT/LEGACY SEWERAGE SYSTEM PERMIT FLOWCHART

NO

CHOOSE TYPE OF DEVELOPMENT

SINGLE FAMILY HOME

RESIDENTIAL SUBDIVISION

MULTI-FAMILY RESIDENTIAL

NON-RESIDENTIAL

RIGHT-OF-WAY

OPEN SPACE

IS PARCEL \geq 1 ACRE?

NO

YES

IS PARCEL \geq 0.5 ACRES?

YES

NO

DOES DEVELOPMENT CREATE \geq 1 ACRE OF NEW IMPERVIOUS AREA?

NO

YES

IS PARCEL \geq 0.5 ACRES?

NO

YES

SITE RUNOFF (§502), VOLUME CONTROL (§503), AND DETENTION REQUIREMENTS (§504) DO NOT APPLY

SITE RUNOFF (§502) AND VOLUME CONTROL (§503) REQUIREMENTS APPLY

SITE RUNOFF (§502) AND VOLUME CONTROL (§503) REQUIREMENTS APPLY

SITE RUNOFF (§502), VOLUME CONTROL* (§503) AND DETENTION REQUIREMENTS* (§504) APPLY
*WHERE PRACTICABLE

SITE RUNOFF (§502) REQUIREMENTS APPLY

IS PARCEL \geq 5 ACRES?

NO

YES

IS PARCEL \geq 3 ACRES?

YES

NO

SITE DETENTION REQUIREMENTS (§504) DO NOT APPLY

SITE DETENTION REQUIREMENTS (§504) APPLY

*WHERE PRACTICABLE

