

Village of Tinley Park

News Release



CONTACT:
Dave Niemeyer
Village Manager
(708) 444-5000 | dniemeyer@tinleypark.org

DATE:
January 26, 2016

Village releases FAQ sheet for proposed Reserve development

The Village of Tinley Park has received many questions related to the Reserve, a proposed 47-unit multifamily residential building at the northeast corner of 183rd Street and Oak Park Avenue. In response, the Village has issued the following list of frequently asked questions about the development:

1. What is the Reserve?

The Reserve is a 47-unit multifamily residential development proposed to be located at the northeast corner of 183rd Street and Oak Park Avenue, adjacent to the Eagle's Nest.

2. Who is the developer of the Reserve?

The developer is Buckeye Hope Community Foundation (www.buckeyehope.org), a nonprofit community housing developer based in Ohio that has experience in developing residential housing.

3. Is this a “public housing project?”

No. This development is not owned or administered by a government agency. The development is designed to provide options for working individuals and families who meet strict criteria but who are generally priced out of the local housing market. It is especially helpful to young workers, seniors and families who want to put down roots in or remain in a community like Tinley Park. The Reserve is more comparable to existing Village residential developments like Brementowne Manor, which offers subsidized housing to senior citizens.

4. Has the developer been given any variations or exceptions from Village codes or ordinances?

The development as proposed meets and exceeds Village codes and ordinances, including the high standards for building materials, life safety and landscaping. No exceptions have been requested or provided.

5. Has the development received any incentives from the Village?

No. The developer has not asked for or received any incentives from the Village of Tinley Park. No Village funds will be provided and the development will pay property taxes, building permit fees and impact fees.

6. When was this development proposed to the Village?

After some consultations with the Village to review applicable codes and ordinances the developer formally submitted design and engineering plans in October 2015.

Additionally, the Reserve development had a long application process with the Illinois Housing Development Authority (IDHA) to obtain tax credit. The Village was in communication with the developer during these early stages to review conceptual plans. The Village issued a preliminary zoning compliance letter and a letter indicating compliance to the Village Master Plan.

All reviewing departments (Building, Public Works, Police, Fire, Engineering and Planning) completed their code reviews in December 2015, and Planning Department staff prepared a staff report for Plan Commission review in mid-January 2016.

7. What is the approval process for the Reserve development?

Since the property is already zoned for multi-family residential use, the development does not require any approval by the Village Board. However, the Reserve does require that the Village Plan Commission determine that the plan complies with relevant Village standards.

The Village's review of the development indicates that the plans meet or exceed Village requirements for size, appearance, traffic management, safety, landscaping and compatibility with the long-range plans for land use.

It is likely the Plan Commission will vote on the site plan approval for the development at its regular meeting on Feb. 4, 2016.

8. What will the building look like?

- The exterior will feature face brick, smooth faced stone and Hardie board (a cementitious siding product) in quantities that meet the Legacy Code building material standards.
- The site will include bike parking, interior to the building and within the site; a small retention pond area; landscaped open space; and a small "tot lot."
- The site is well-landscaped and exceeds Village landscape requirements.
- The developer will fully sprinkle the building and meet the International Building Codes and the Tinley Park Building Code.
- Required parking for residents (one space per unit) will be located at the rear of the building, underneath the second story of the building, and meets the Legacy Code

requirements. Required guest parking is provided at the rear of the building in a parking lot.

- See the below photo for a rendering of the development. Other information, including site plans, documents and additional renderings, are included at the conclusion of the FAQ sheet.



9. Will this development be regularly inspected?

Yes. As with all of the single-family and multiple-family rental products within the community, this development will be included in the Tinley Park Crime Free Rental Housing Program. The program is designed to combat and eradicate criminal activity in rental properties. It monitors tenant conduct and, if necessary, provides a mechanism to remove those problem tenants from their leased properties.

In addition, the Village Board is studying the possibility of a regular rental inspection program.

10. How is this development funded?

Tax credit financing means the development was granted a “federal income tax credit” by the State of Illinois that can be sold at market to offset federal income tax liabilities. The proceeds from the sale of tax credits are used as equity by the developer.

The developer sells its Low Income Housing Tax Credit (LIHTC) on the open market. That revenue allows the developer to build a higher-quality community while keeping rental prices affordable.

The Village was not part of the developer’s application to the Illinois Housing Development Authority (IDHA). The developer received approval for a Low Income Housing Tax Credit (LIHTC) through IDHA in fall of 2015.

The below chart, provided by the developer, indicates the required household income limits for this development (based upon 2014 numbers).

THE RESERVE AT TINLEY PARK
GROSS RENT AS A PERCENT OF INCOME

| Income and Rent | 1 Person Household | 2 Person Household | 3 Person Household | 4 Person Household | 5 Person Household | 6 Person Household |
|--|-----------------------|-----------------------|-----------------------|-----------------------|-----------------------|-----------------------|
| <u>Very Low-Income (50% of Median)</u> | \$26,600 | \$30,400 | \$34,200 | \$38,000 | \$41,050 | \$44,100 |
| 1 Bedroom Units | | | | | | |
| Proposed Rent Plus Utilities | \$677 | \$677 | - | - | - | - |
| Rent as % of Maximum Income | 30.5% | 26.7% | - | - | - | - |
| Minimum Income Needed for Affordability* | \$23,211 | \$23,211 | - | - | - | - |
| Maximum Allowable Rent (LIHTC) | \$712 | \$712 | - | - | - | - |
| 2 Bedroom Units | | | | | | |
| Proposed Rent Plus Utilities | \$812 | \$812 | \$812 | \$812 | - | - |
| Rent as % of Maximum Income | 36.6% | 32.1% | 28.5% | 25.6% | - | - |
| Minimum Income Needed for Affordability* | \$27,840 | \$27,840 | \$27,840 | \$27,840 | - | - |
| Maximum Allowable Rent (LIHTC) | \$855 | \$855 | \$855 | \$855 | - | - |
| 3 Bedroom Units | | | | | | |
| Proposed Rent Plus Utilities | \$939 | \$939 | \$939 | \$939 | \$939 | \$939 |
| Rent as % of Maximum Income | 42.4% | 37.1% | 32.9% | 29.7% | 27.4% | 25.6% |
| Minimum Income Needed for Affordability* | \$32,194 | \$32,194 | \$32,194 | \$32,194 | \$32,194 | \$32,194 |
| Maximum Allowable Rent (LIHTC) | \$988 | \$988 | \$988 | \$988 | \$988 | \$988 |
| <u>Low-Income (60% of Median)</u> | \$31,920 | \$36,480 | \$41,040 | \$45,600 | \$49,260 | \$52,920 |
| 1 Bedroom Units | | | | | | |
| Proposed Rent Plus Utilities | \$812 | \$812 | - | - | - | - |
| Rent as % of Maximum Income | 30.5% | 26.7% | - | - | - | - |
| Minimum Income Needed for Affordability* | \$27,840 | \$27,840 | - | - | - | - |
| Maximum Allowable Rent (LIHTC) | \$855 | \$855 | - | - | - | - |
| 2 Bedroom Units | | | | | | |
| Proposed Rent Plus Utilities | \$975 | \$975 | \$975 | \$975 | - | - |
| Rent as % of Maximum Income | 36.7% | 32.1% | 28.5% | 25.7% | - | - |
| Minimum Income Needed for Affordability* | \$33,429 | \$33,429 | \$33,429 | \$33,429 | - | - |
| Maximum Allowable Rent (LIHTC) | \$1,026 | \$1,026 | \$1,026 | \$1,026 | - | - |
| 3 Bedroom Units | | | | | | |
| Proposed Rent Plus Utilities | \$1,127 | \$1,127 | \$1,127 | \$1,127 | \$1,127 | \$1,127 |
| Rent as % of Maximum Income | 42.4% | 37.1% | 33.0% | 29.7% | 27.5% | 25.6% |
| Minimum Income Needed for Affordability* | \$38,640 | \$38,640 | \$38,640 | \$38,640 | \$38,640 | \$38,640 |
| Maximum Allowable Rent (LIHTC) | \$1,185 | \$1,185 | \$1,185 | \$1,185 | \$1,185 | \$1,185 |

* Gross Rent includes all utilities. Utility allowance is : 1 BR: \$171; 2 BR: \$210; 3 BR: \$250

Note: Minimum income for affordability assumes 35% of income for rent. All 30% AMI and some 50% AMI units will have project-based vouchers so that tenants will pay 30% of their income in rent.

Source: Valerie S. Kretchmer Associates, Inc.

11. What is the market for affordable housing?

The Reserve is designed to appeal to working individuals and families who must meet stringent requirements for credit-worthiness, and will be subject to a rigorous background check.

12. What is the tenant selection process?

Should the project be approved, community organizations such as the Ministerial Association would help to identify Tinley Park residents who would qualify for the program.

The standards from the developer's Tenant Selection Plan include:

All applicants for housing will be screened according to the criteria set forth in the Admission Standards. These criteria are:

- Past performance in meeting financial obligations, especially rent
- Absence of bad record of residency such as destruction of property, disturbance to neighbors
- No evidence of poor housekeeping habits
- No involvement in criminal activities, including but not limited to felonies, in the past 60 months
- No record of evictions or terminations from housing programs and private landlords
- Applicant's ability and willingness to comply with the lease
- No misrepresentation of any information related to eligibility, income, household composition, previous landlords etc.
- Applicants must be of legal age to enter a lease.

Criminal history reports will be investigated for each applicant household member age 18 or older. Screening for criminal offenses will be subject to denial if they are related to sexual offences, drugs and violence. Standards prohibit admission of:

- **Illegal drugs:** Any household containing a member(s) who was evicted in the last three years from federally assisted housing for drug-related criminal activity will be denied admission. Households in which any member is currently engaged in illegal use of drugs or for which the owner/agent has reasonable cause to believe that a member's illegal use or pattern of illegal use of a drug may interfere with the health, safety and right to peaceful enjoyment of the property by other residents also will be denied admission.
- **Sexual offenders:** Any household member who is subject to any state sexual offender registration requirement will be denied admission.
- **Violence and violent crime:** Households containing a member that has a history of violence against other persons and/or who have been convicted of a crime using a weapon against another individual will be denied admission.
- **Alcoholism behavior:** Any household member's behavior, from alcoholism abuse that may have led to violent or offensive behavior and/or crime that will interfere with

the health, safety and right to peaceful enjoyment by other residents, will be denied admission. The screening standards must be based on alcoholism behavior, not a medically diagnosed condition of alcoholism or alcohol abuse.

- **Felony conviction:** Any household containing a member who has a felony conviction for any type of crime that is less than seven years old will be subject to denial.
- **Misdemeanor conviction:** Households with members who have a misdemeanor conviction or are a habitual offender with misdemeanor convictions that relate to sexual offenses, drugs or violence will be subject to denial. Examples include public intoxication, disorderly conduct, menacing, soliciting prostitution and vandalism.
- **Criminal offense against employees and property:** Households with members who have at any time have committed other criminal activity that would threaten the health, safety of the owner or any employee, contractor, subcontractor or agent will be denied admission.

14. Will this development hurt my property values?

Market valuation for houses is based primarily on comparables (nearby houses of similar size, school quality, tax rates and community economic strength). Similarly, market values for apartments are valued based on comparable rental developments and are not affected by senior housing, assisted living apartments, subsidized/tax credit financed housing or single-family residential.



GLEASON ARCHITECTS, P.C.

ETERA GROUP
3052 West 167th Street Markham, IL 60428
815.766.1200 www.eteragroup.com

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| REVISIONS | DATE |
|-----------|------|
| | |



2 NORTHWEST PERSPECTIVE VIEW
SCALE: NONE

PROJECT:
THE RESERVE AT TINLEY PARK
NEC OF OAK PARK AV AND 183RD ST
TINLEY PARK, IL

CLIENT:
BUCKEYE COMMUNITY HOPE FOUNDATION
3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 12-5-15
FILE
PLOT SCALE 1:1

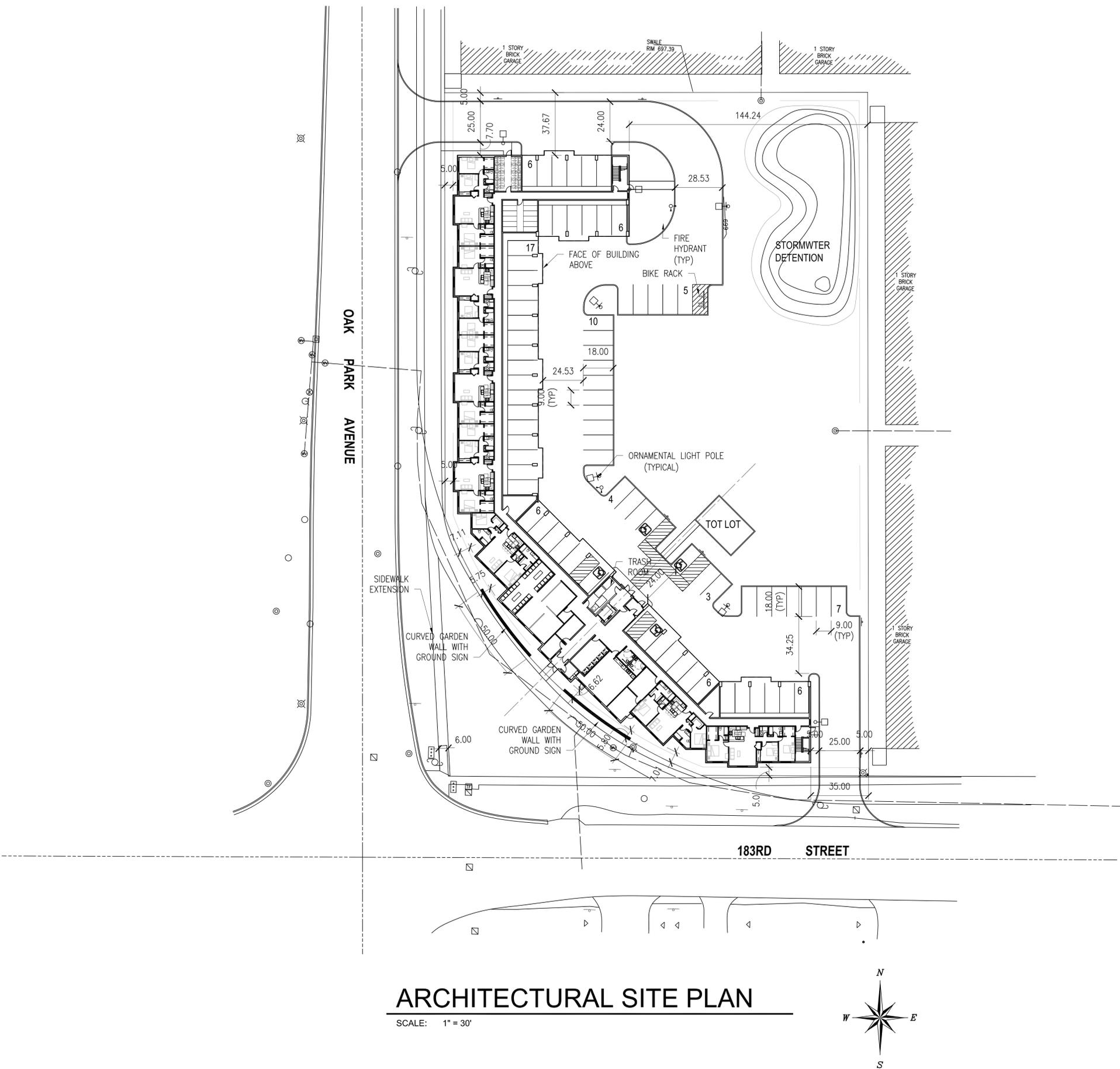
OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
PERSPECTIVE

SHEET NUMBER

A5.2



ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'



NOTES

| SITE DATA | | | | |
|---------------------------|-----------------|---------------------|---------------------------------|-----------------|
| GENERAL | | | | |
| Frontage: | Ft: | 583.34 | | |
| Gross Site Area: | Sq. Ft: | 96789.56 | Acres: 2.22 | |
| COVERAGE AND DENSITY | | | | |
| Building Coverage: | 28% | | | |
| Floor Area Ratio (FAR): | 0.83 | | | |
| Density: | 21.2 | Units per acre | | |
| Landscaped Area: | Sq. Ft: | 43109.96 | Percent of Site: 45% | |
| Pavement / Building Area: | Sq. Ft: | 53679.6 | Percent of Site: 55% | |
| Parking Lot Landscaping: | Sq. Ft: | 1295.92 | Percent of Parking Area: 19.10% | |
| PARKING | | | | |
| REQUIRED | | | | |
| | Residents | Guests | Administration | |
| | Units | Units | Sq Ft | |
| Units or Square Footage | 47 | 47 | 257 | |
| Ratio/Unit or 1000 sf: | 1 | 0.5 | 4 | |
| Total Stalls Required: | 47 | 24 | 73 | |
| PROVIDED | | | | |
| | Covered | Outside | Total | |
| Standard | 45 | 27 | 72 | |
| Accessible | 2 | 2 | 4 | |
| Total | 47 | 29 | 76 | |
| Excess Stalls: | | | 3 | |
| BUILDING DATA | | | | |
| AREAS BY FLOOR | | | | |
| | Residential | Circulation | Common | |
| 1st floor | 8005 | | 26812 | |
| 2nd floor | 21335 | | 26812 | |
| 3rd floor | 21335 | | 26812 | |
| Total of All Floors | 50675 | 0 | 80436 | |
| % / Total Area per Unit | 63% | 0% | 171% | |
| UNIT TYPES BY FLOOR | | | | |
| | 1-Bedroom | 2-Bedroom | 3-Bedroom | Total All Units |
| 1st floor | 0 | 2 | 5 | 7 |
| 2nd floor | 5 | 4 | 11 | 20 |
| 3rd floor | 5 | 4 | 11 | 20 |
| Total of All Floors | 10 | 10 | 27 | 47 |
| % of Total Units | 21% | 21% | 57% | |
| RENTABLE FLOOR AREA | | | | |
| Unit Type | Number of Units | Floor Area per Unit | Total Floor Area | |
| 1-Bedroom Type A | 6 | 828 | 4968 | |
| 1-Bedroom Type B | 4 | 898 | 3592 | |
| 2-Bedroom Type A | 4 | 1033 | 4132 | |
| 2-Bedroom Type B | 6 | 1060 | 6360 | |
| 3-Bedroom Type A | 23 | 1234 | 28382 | |
| 3-Bedroom Type B | 4 | 1248 | 4992 | |
| Total | 47 | | 52426 | |

| ZONING TABLE | | | |
|-------------------------------------|--|--|----------------------|
| Ref: 2011 Legacy Code | | | |
| PRINCIPAL BUILDING DESIGN STANDARDS | | | |
| Zone | Zoning District | Requirements | |
| | | Current Zoning | Proposed Project |
| NF | Neighborhood Flex | | |
| Use | Permitted Uses | Owner- and renter-occupied dwelling units located within single-family detached, single-family attached, multi-family, and/or mixed-use structures, and including but not limited to senior housing. | Multi-Family Housing |
| Lot | Minimum Lot Width | ft | 20 |
| | Maximum Lot Width | ft | n/a |
| | Minimum Building Height | ft | 2 stories |
| | | | 3 stories |
| Building Setbacks | | | |
| Primary Frontage | Front setback, minimum | ft | 5 |
| | Front setback, maximum | ft | 15 |
| | Secondary street setback, minimum | ft | 5 |
| | Secondary street setback, maximum | ft | 15 |
| Side Setback | Interior Side Setback, maximum | ft | 5 |
| | Access Drive Side Setback, minimum | ft | 5 |
| Rear Setback | Rear alley setback, minimum | ft | 5 |
| | No alley setback, minimum | ft | 5 |
| | Future alley setback, minimum | ft | 30 |
| Parking Setbacks | | | |
| Primary Frontage | Front setback, minimum | ft | 25 |
| | Front setback, maximum | ft | n/a |
| | Secondary street setback, minimum | ft | 10 |
| | Secondary street setback, maximum | ft | n/a |
| Side Setback | Interior Side Setback, maximum | ft | 0 |
| | Access Drive Side Setback, minimum | ft | 5 |
| Rear Setback | Rear alley setback, minimum | ft | 5 |
| | No alley setback, minimum | ft | 5 |
| | Future alley setback, minimum | ft | 30 |
| Alley & Access Road Setbacks | | | |
| | Alley Rear Yard Setback, minimum | ft | 5 |
| | Alley Location | | n/a |
| | Access Road Location | | As per page 61 |
| | Permitted location of accessory structures | | Parking zone |



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P: 815.748.1200
www.eteragroup.com

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REVISIONS DATE

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLING-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE AS1-Architectural Site Plan
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
ARCHITECTURAL
SITE PLAN

SHEET NUMBER
AS1



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| REVISIONS | DATE |
|-----------|------|
| | |

PROJECT:
THE RESERVE AT TINLEY PARK
NEC OF OAK PARK AV AND 183RD ST
TINLEY PARK, IL

CLIENT:
BUCKEYE COMMUNITY HOPE FOUNDATION
3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 12-5-15
FILE
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
PERSPECTIVE

SHEET NUMBER

A5.3



3

SOUTHEAST PERSPECTIVE VIEW

SCALE: NONE



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3052 West 167th Street Markham, IL 60428
P: 815.766.1200 www.eteragroup.com

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REVISIONS DATE



PROJECT:
THE RESERVE AT TINLEY PARK
NEC OF OAK PARK AV AND 183RD ST
TINLEY PARK, IL

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BUCKEYE COMMUNITY HOPE FOUNDATION
3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 12-5-15
FILE
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____

Date _____

SHEET TITLE
PERSPECTIVE

SHEET NUMBER

A5.4

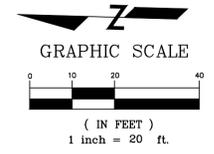
4

REAR PERSPECTIVE VIEW

SCALE: NONE

Reserve at Tinley Park
Landscape Plant Information

| CODE | QTY | SIZE | SCIENTIFIC NAME | COMMON NAME | NOTES |
|-------------------------------|-----|-----------|------------------------------------|--------------------------------|--------------------------|
| SHADE/ORNAMENTAL TREES | | | | | |
| Acar | 4 | 2.5" Cal. | Acer rubrum 'Armstrong' | Armstrong Upright Maple | Single leader |
| Acgi | 5 | 6 ft. | Acer ginnala | Amur Maple | Full clump |
| Acru | 8 | 2.5" Cal. | Acer rubrum 'October Glory' | October Glory Red Maple | Balled and Burlapped |
| Acsa | 6 | 2.5" Cal. | Acer saccharum 'Green Mountain' | Green Mountain Sugar Maple | Balled and Burlapped |
| Amla | 6 | 6 ft. | Amelanchier laevis | Serviceberry | Full clump |
| Beni | 7 | 6 ft. | Betulus nigra 'Heritage' | Heritage River Birch | At least 3 stems |
| Ceca | 8 | 6 ft. | Cercis canadensis | Redbud | Northern Illinois grown |
| Coma | 12 | 6 ft. | Cornus mas | Corneliancherry Dogwood | Full clump |
| Litu | 5 | 2.5" Cal. | Liriodendron tuliperfa | Tuliptree | Balled and Burlapped |
| Masa | 10 | 6 ft. | Malus sargentii | Sargent Crabapple | Full clump |
| Mast | 7 | 6 ft. | Magnolia stellata | Star Magnolia | Full clump |
| Pyfa | 5 | 2.5" Cal. | Pyrus fauriei | Koreansun Pear | Straight leader |
| Qubi | 5 | 2.5" Cal. | Quercus bicolor | Swamp White Oak | Balled and Burlapped |
| Quma | 6 | 2.5" Cal. | Quercus macrocarpa | Bur Oak | Balled and Burlapped |
| Quro | 3 | 2.5" Cal. | Quercus robur 'Fastigata' | Upright English Oak | Matched |
| Syra | 5 | 2.5" Cal. | Syringa reticulata 'Ivory Silk' | Ivory Silk Japanese Tree Lilac | Straight leader |
| EVERGREEN TREES | | | | | |
| Abco | 2 | 6 ft. | Abies concolor | Concolor Fir | Straight leader |
| Piab | 1 | 6 ft. | Picea abies | Norway Spruce | Single leader |
| Tadi | 3 | 6 ft. | Taxodium distichum | Bald Cypress | Single, Straight leader |
| SHRUBS | | | | | |
| Arme | 13 | 5 Gal. | Aronia melanocarpa | Black Chokeberry | 24" tall; full plants |
| Cose | 37 | 5 Gal. | Cornus sericea 'Isanti' | Isanti Redtwig Dogwood | 24" tall |
| Hypa | 40 | 3 Gal. | Hydrangea paniculata 'Tardiva' | Panicle Hydrangea | Full plant |
| Rhar | 11 | 2 Gal. | Rhus aromatica 'Gro Lo' | Gro Low Fragrant Sumac | Full container |
| Saca | 25 | 5 Gal. | Sambucus canadensis 'Black Lace' | Black Lace Elderberry | Full plant |
| Spbu | 22 | 5 Gal. | Spirea x bumalda 'Anthony Waterer' | Anthony Waterer Spirea | 24" wide |
| Sypa | 41 | 5 Gal. | Syringa patula | Miss Kim Lilac | 24" tall |
| Vila | 26 | 5 Gal. | Viburnum lantana 'Mohican' | Mohican Viburnum | 24" tall |
| Vitr | 19 | 5 Gal. | Viburnum trilobum | Highbush Cranberry Viburnum | 24" tall |
| Vide | 32 | 5 Gal. | Viburnum dentatum | Arrowwood Viburnum | 30" tall |
| EVERGREEN SHRUBS | | | | | |
| Juch | 26 | 5 Gal. | Juniperus chinensis 'Sea Green' | Sea Green Juniper | 24" wide |
| Pimu | 26 | 3 Gal. | Pinus mugo 'Slowmound' | Dwarf Mugo Pine | Full plant |
| Tame | 30 | 5 Gal. | Taxus media 'Everlow' | Everlow Dense Yew | 24" wide |
| PERENNIALS | | | | | |
| Assorted | 125 | 1 Gal. | Assorted Perennials (to be chosen) | Perennial Flowers | Hardy, Disease Resistant |



SITE DISTANCE TRIANGLES:



LEGACY DISTRICT LANDSCAPE CODE TABLE 3.F.1

BUFFER ZONE (NORTH AND EAST)
5 FT. BUFFER STRIPS; PER 50 FT. REQUIRED PLANTINGS
2 CANOPY TREES
1 ORNAMENTAL TREE
20 SHRUBS

NORTH SIDE: 5 FT. MINIMUM (256 LF)
11 CANOPY REQUIRED
11 CANOPY PROVIDED
6 ORNAMENTALS REQUIRED
6 PROVIDED
103 SHRUBS REQUIRED
103 SHRUBS PROVIDED

EAST SIDE (410 LF)
17 CANOPY REQUIRED
17 CANOPY PROVIDED
9 ORNAMENTALS REQUIRED
9 ORNAMENTALS PROVIDED
164 SHRUBS REQUIRED
164 SHRUBS PROVIDED

PARKWAY TREES
1 TREE PER 25 LF
575 LF FRONTAGE (575 LF / 25 = 23)
23 TREES REQUIRED; 23 TREES PROVIDED

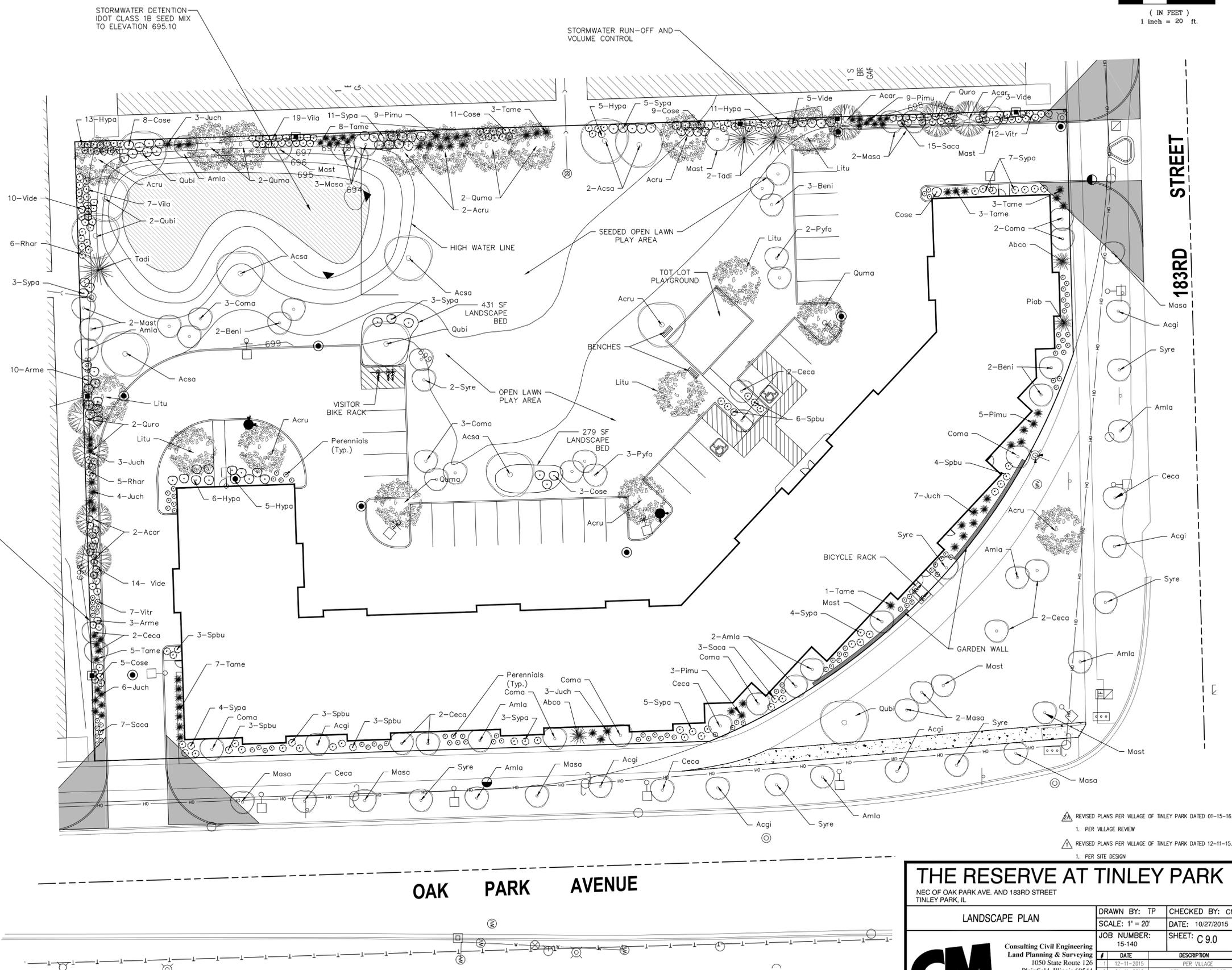
PARKING LOT GREEN SPACE CALCULATIONS (SECTION 158.20)

| | |
|--|----------------------------|
| AREA OF PARKING LOT | 21,815 SF |
| REQUIRED 15% MINIMUM | (21,815 x 0.15 = 3,272 SF) |
| PROVIDED GREENSPACE AND LANDSCAPE BEDS | 3,320 SF (15.2%) |

LANDSCAPE ORDINANCE 158.14

1 TREE PER DWELLING UNIT
47 UNITS = 47 TREES
47 TREES PROVIDED

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These plans are protected under the copyright laws of the United States and foreign countries, and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.



REVISED PLANS PER VILLAGE OF TINLEY PARK DATED 01-15-16.
1. PER VILLAGE REVIEW

REVISED PLANS PER VILLAGE OF TINLEY PARK DATED 12-11-15.
1. PER SITE DESIGN

THE RESERVE AT TINLEY PARK
NEG OF OAK PARK AVE. AND 183RD STREET
TINLEY PARK, IL

LANDSCAPE PLAN

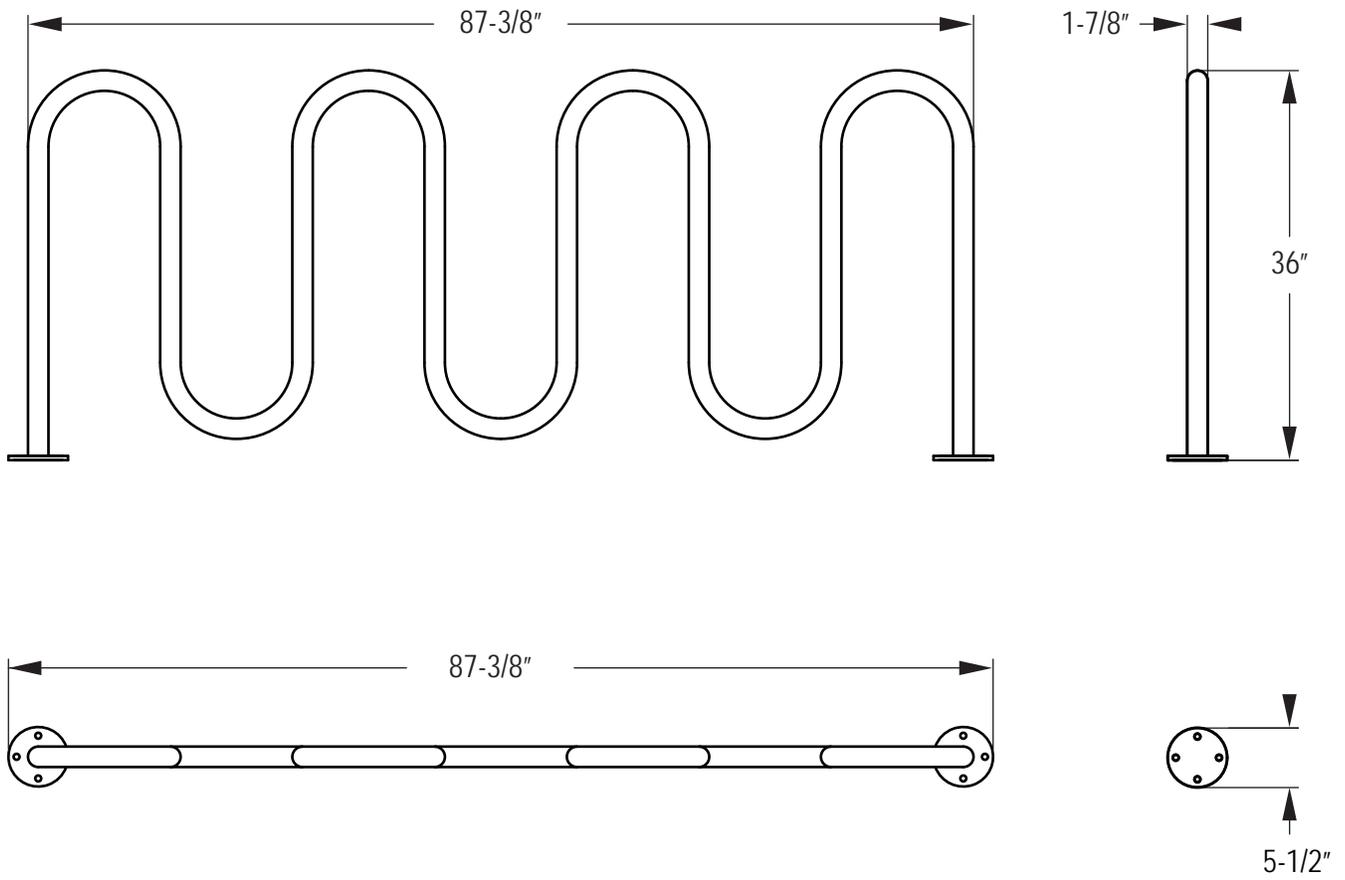
DRAWN BY: TP CHECKED BY: CML
SCALE: 1" = 20' DATE: 10/27/2015
JOB NUMBER: 15-140 SHEET: C 9.0

| # | DATE | DESCRIPTION |
|---|------------|---------------------|
| 1 | 12-11-2015 | PER VILLAGE |
| 2 | 01-11-2016 | PER VILLAGE AND DOT |
| 3 | 01-15-2016 | PER VILLAGE REVIEW |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |

CM
C.M. Lavoie & Associates, INC.
Consulting Civil Engineering
Land Planning & Surveying
1050 State Route 126
Plainfield, Illinois 60544
voice 815-254-0505
fax 815-436-5158

LANDSCAPE REVISION 1-15-16

9 Bike Wave Bike Rack, Stainless Steel, Surface Mount





G L E A S O N
ARCHITECTS, P.C.

January 5, 2016

Don McNeely
The Village of Tinley Park
16250 S. Oak Park Ave.
Tinley Park, IL 60477

**Subject: The Reserve at Tinley Park
Northeast Corner of Oak Park Ave. and 183rd St.
Architect's Project No. 15-016**

Dear Don:

This letter is to discuss the Tinley Park building code with respect to the construction of the proposed apartment building at the referenced address. It is our understanding that the current building code is under review and a revised code is planned to be approved sometime in late first quarter of 2016. Unfortunately our project is under a strict time schedule in order to obtain specific energy related grants and therefore we are looking at submitting for a permit in January of 2016. Mike Koehl of my office spoke to Dan Riordan on Wednesday December 9th and Dan indicated that if we apply for a building permit in January we will be reviewed under the current code.

Therefore, we have returned to the current code and have put together a description of construction that we propose for The Reserve. We believe that the following construction reflects the intent of the Tinley Park building code. The building would be designed in conformance with Type IB construction and would include the following assemblies and fire ratings:

1. Exterior wall construction:
Concrete unit masonry interior wyth, with 3" insulation, then 4" brick on the exterior to form a composite exterior wall. (Insulation is required to comply with the 2015 energy code). UL Des U902 (Alternate) 2hr rating.

K:\Gleason Architects\PROJECTS\15-016 Buckeye Tinley Park\Correspondence\Letter Don McNeely 12-14-15.docx

769 Heartland Drive, Unit A Sugar Grove, Illinois 60554
Phone: 630-466-8740 Fax: 630-466-8760
E-mail: thadgleason@gleasonarchitectspc.com

2. Interior demising partitions between units:

Using NFPA 13 fire sprinkler system throughout the building and the following

6" metal studs with 2 layers of 5/8" gypsum board each side with sound insulation in the cavities UL Des U419 2hr fire rating STC 50 non-combustible

3. Corridor partitions:

Using NFPA 13 fire sprinkler system throughout the building and the following

6" metal studs with 2 layers of 5/8" gypsum board each side with sound insulation in the cavities UL Des U419 2hr fire rating STC 50 non-combustible

4. Floor system:

Concrete pre-cast planks with a 1 1/2" topping UL Des J966 2hr fire rating

5. Roof system:

EPDM roofing on sloped insulation (to meet energy code) on steel deck on steel bar joists with suspended 5/8" gypsum board ceiling UL Des P508 1hr fire rating.

6. Stair Enclosure:

6" CMU masonry with metal furring and 5/8" gypsum board each side UL Des U906 2hr fire rating.

If you see anything in the above description that you have a concern with please let me know. Otherwise we will be proceeding with our construction documents based upon this basis.

Thank you for your assistance.

The Village of Tinley Park
Don McNeely
January 5, 2016
Page 3 of 3

Sincerely,
Gleason Architects, P.C.



Thad M. Gleason
Architect

cc: Dan Riordan, Village of Tinley Park
David Petroni, Buckeye Community Hope Foundation
Anthony Blum, Tower Contracting

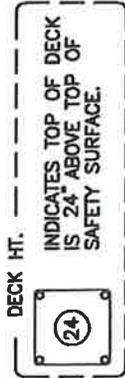
K:\Gleason Architects\PROJECTS\15-016 Buckeye Tinley Park\Correspondence\Letter Don McNeely 12-14-15.docx

769 Heartland Drive, Unit A Sugar Grove, Illinois 60554
Phone: 630-466-8740 Fax: 630-466-8760
E-mail: thadgleason@gleasonarchitectspc.com

PLAN VIEW

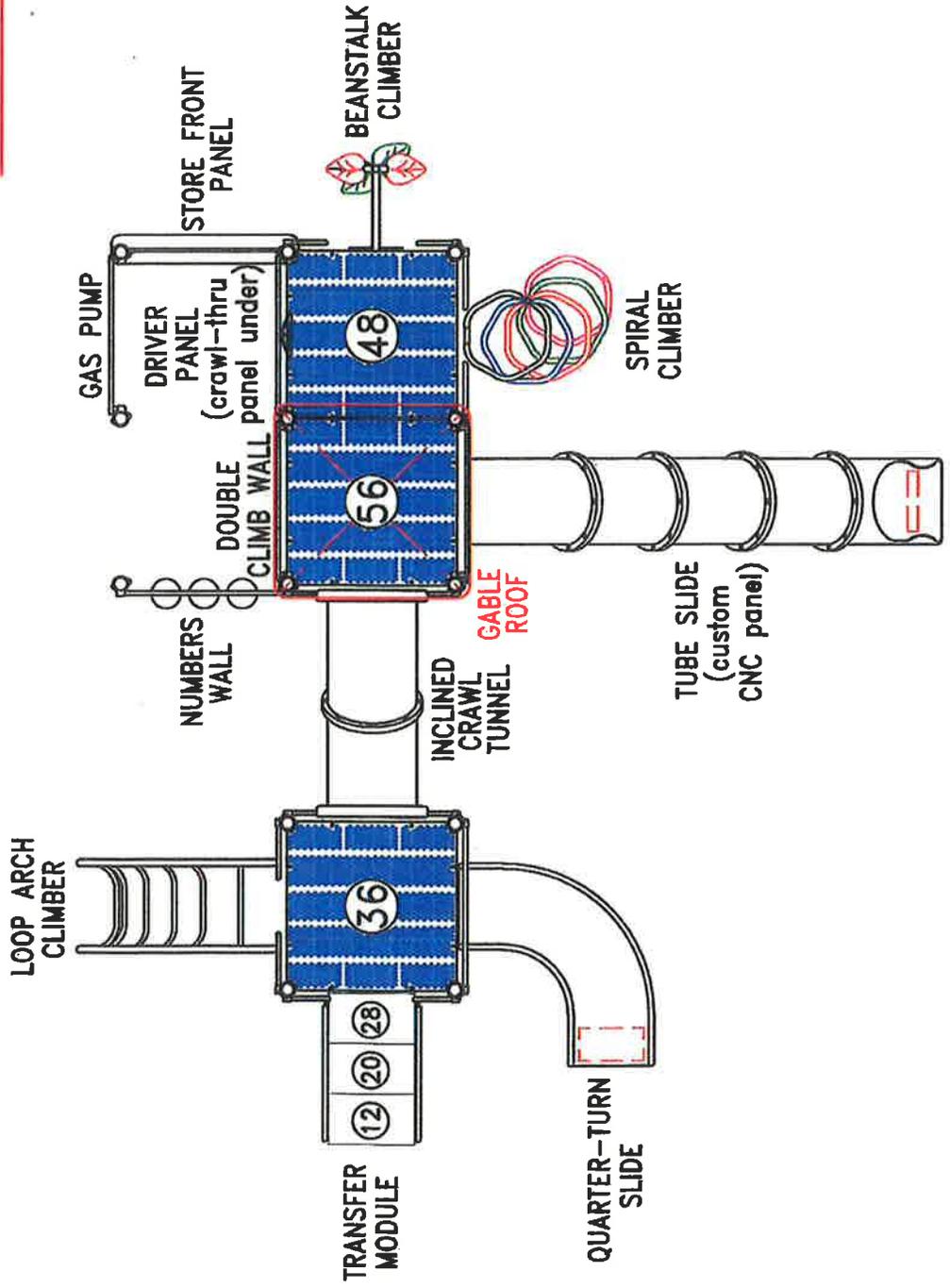
| | | | |
|-------|----------------------|-----------|----------|
| TITLE | Kidstuff PlaySystems | | |
| SCALE | 1/4" = 1' | REV. NO. | 01 |
| DATE | 12/11/13 | REV. DATE | 02/07/14 |
| MODEL | 7308-02-141 | APPROV. | |

ACTUAL SIZE: 24' x 20'
 REQUIRED AREA: 36' x 32'
 AGES: 2-12

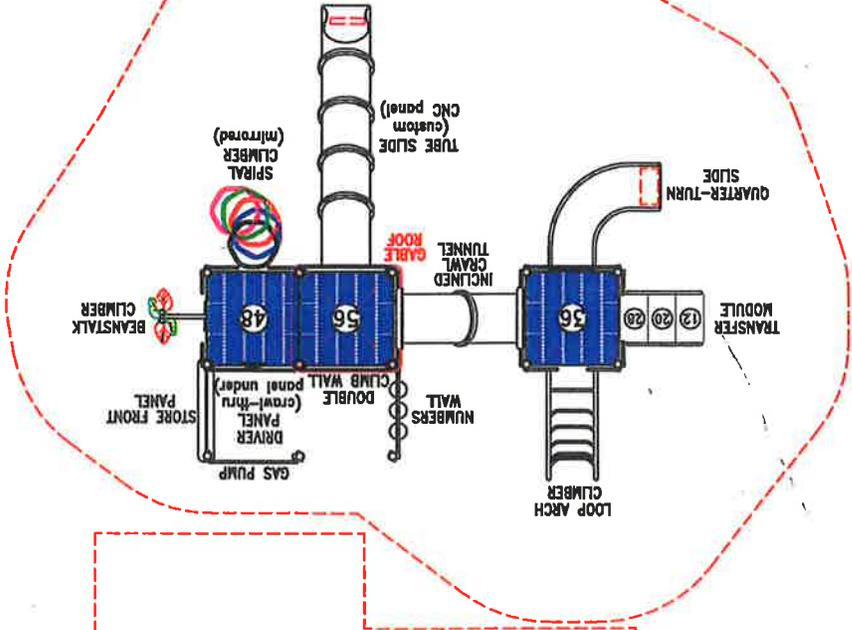


A PROTECTIVE SURFACE IS REQUIRED FOR THIS PLAYSYSTEM THAT MEETS THE REQUIREMENTS OF ASTM F1292.

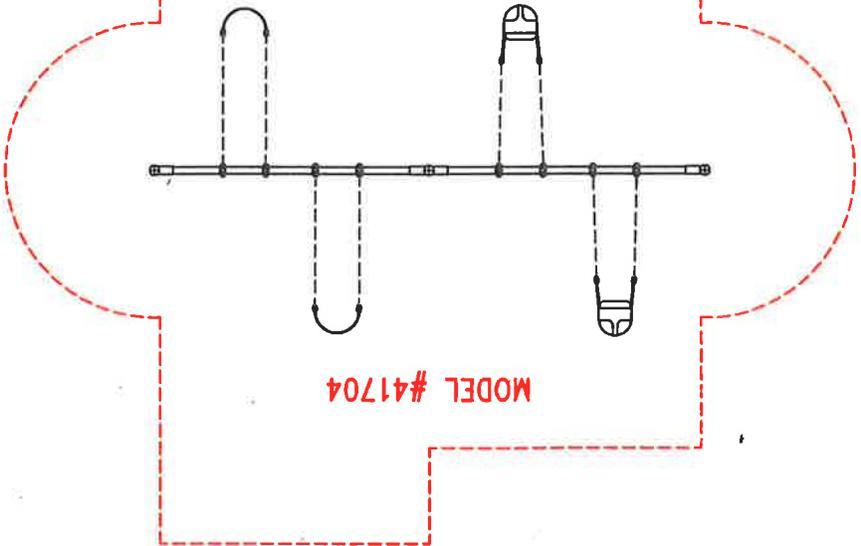
THIS IS ONLY A PRELIMINARY PLAN WHICH IS NOT FOR CONSTRUCTION.



MODEL #7308-02-141



MODEL #41704



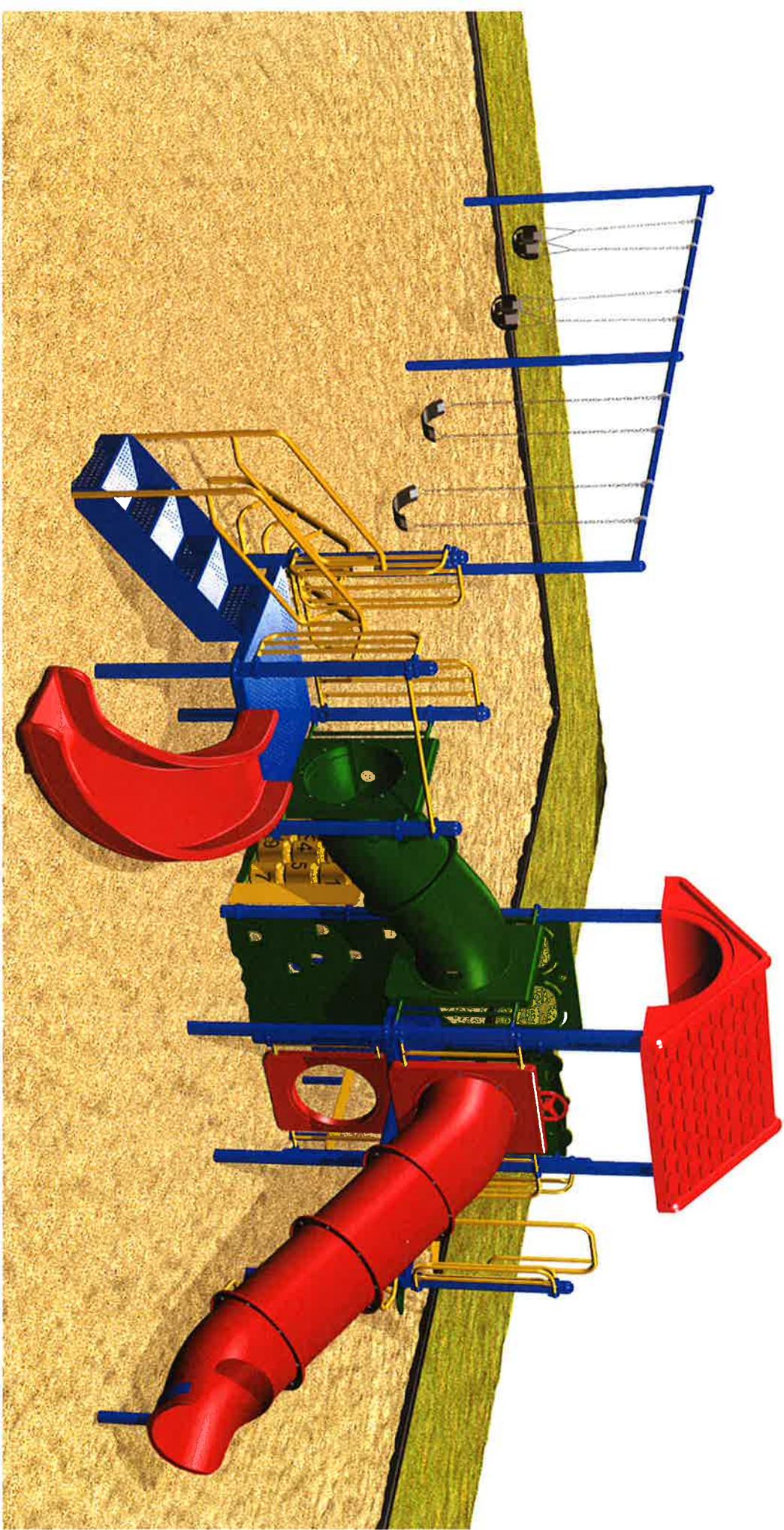
NO NAME PARK
 SCALE: 1/8" = 1'-0"
 THIS IS ONLY A PRELIMINARY PLAN
 WHICH IS NOT FOR CONSTRUCTION.

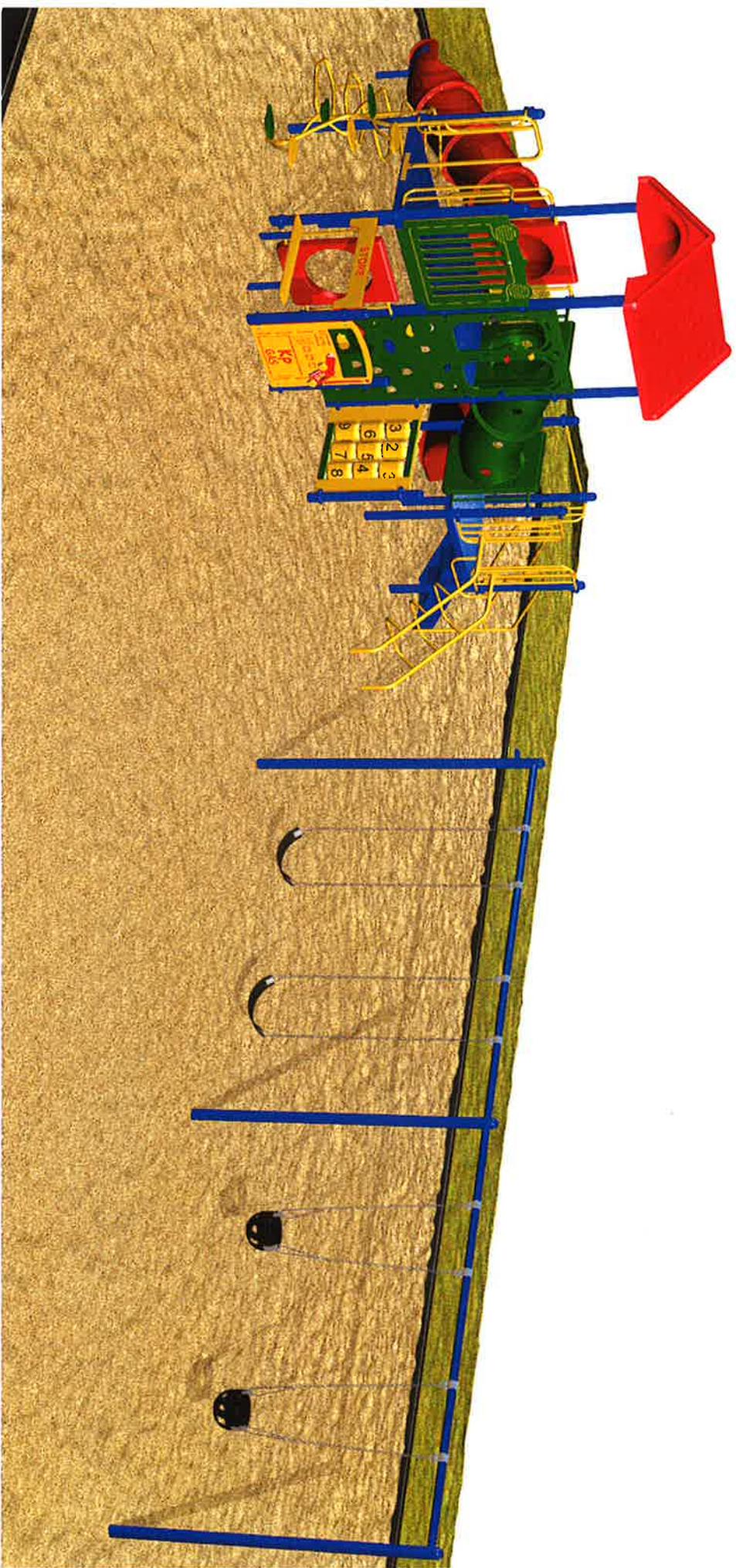
68'

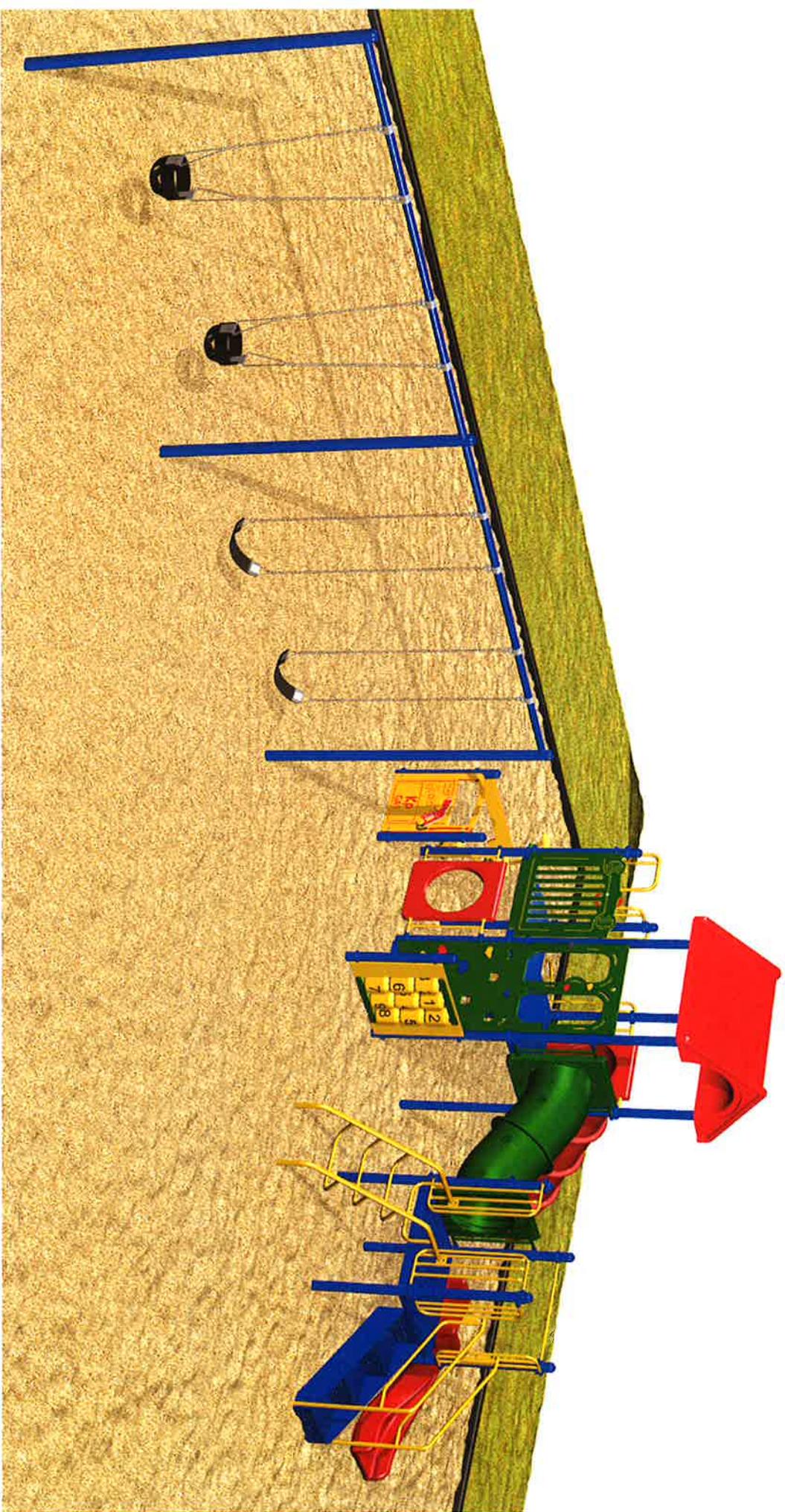
52'



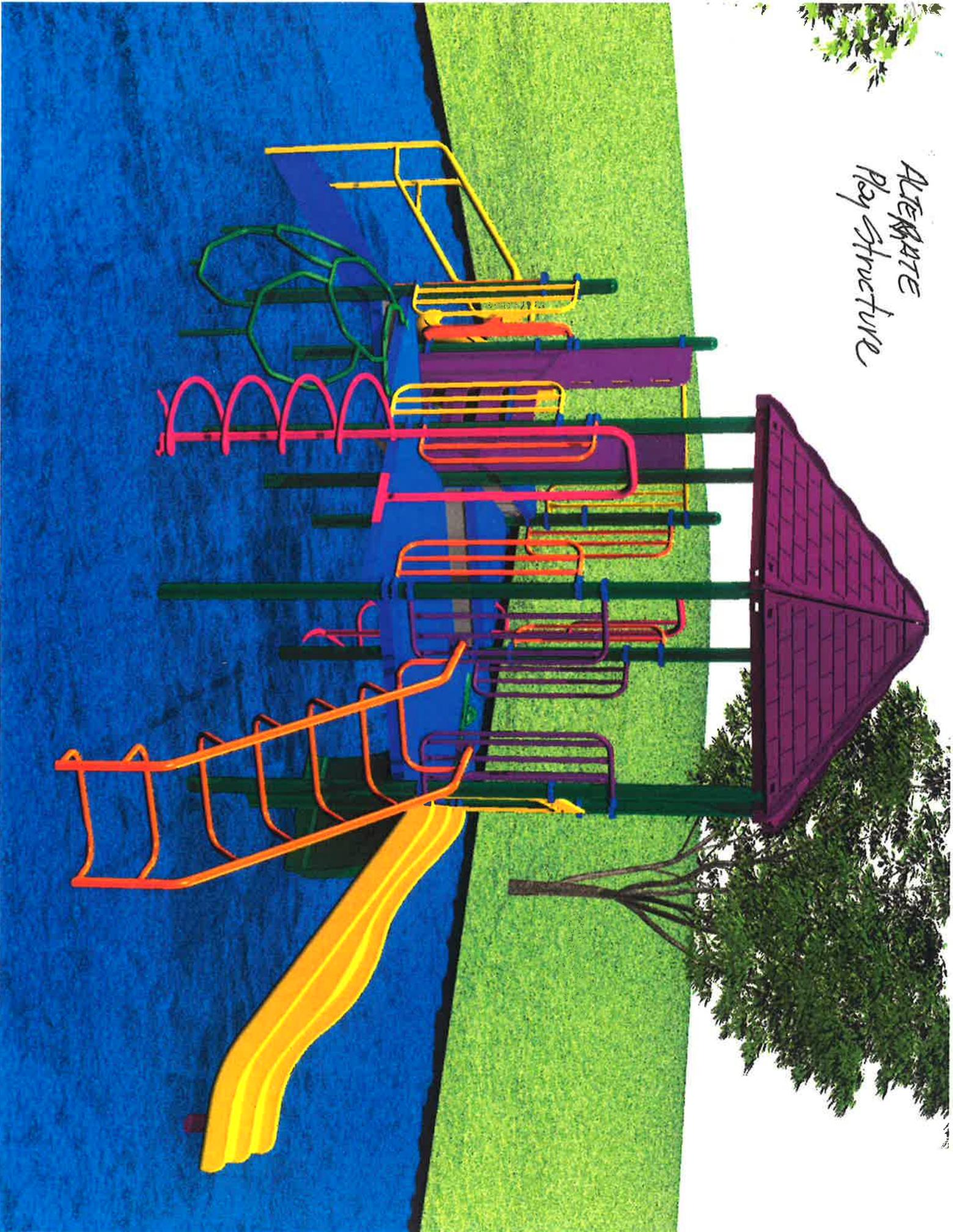








ALTERNATE
Play Structure



TITLE

PLAN VIEW

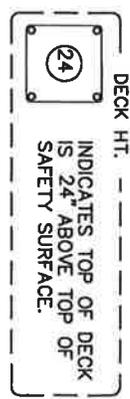
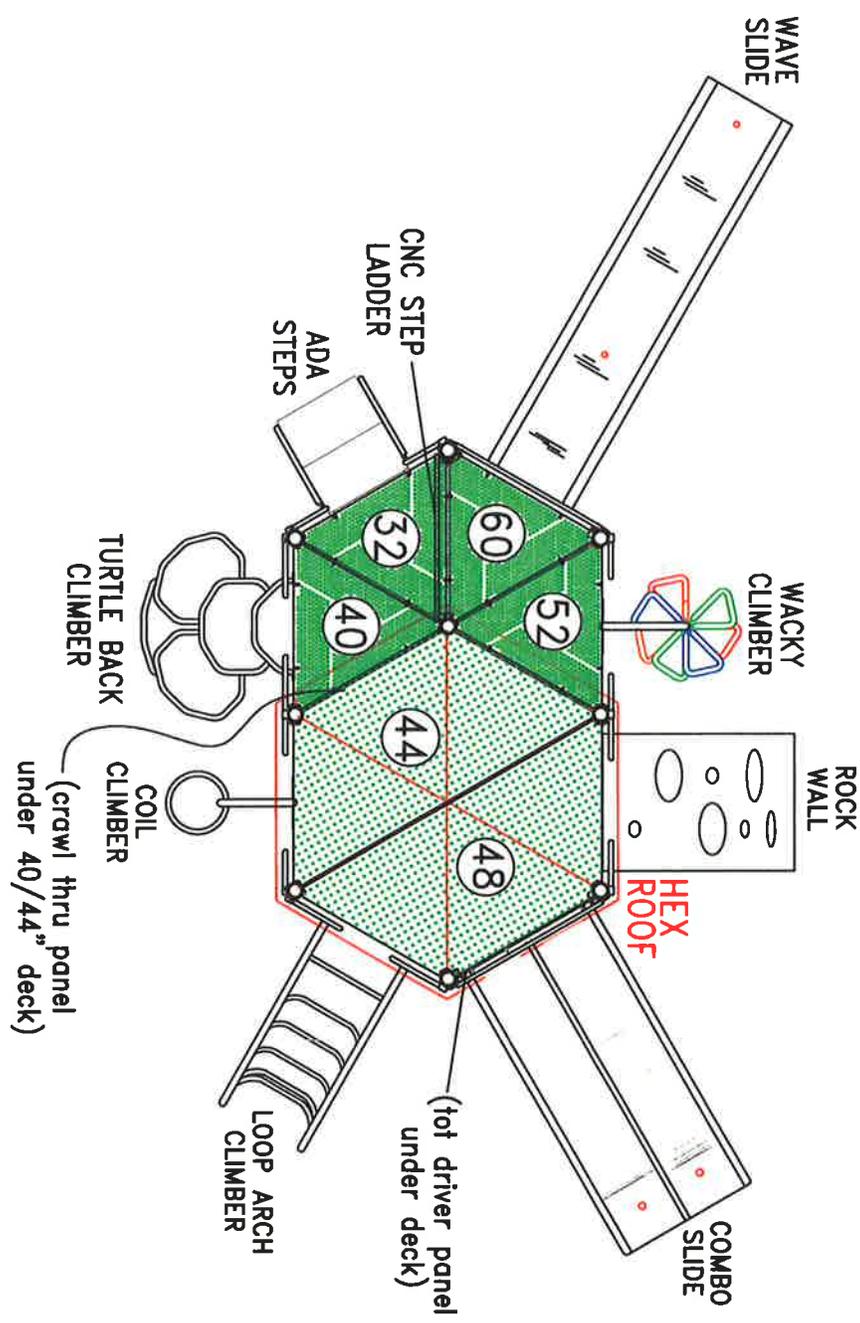
SCALE: 1/4"=1' Kidstuff Playsystems

DATE: 09-18-15 REV. NO. REV. DATE APPROV.

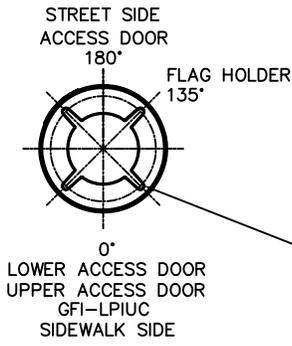
MODEL: 6775-02-151 DWG:

ACTUAL SIZE: 26' x 15'
REQUIRED AREA: 38' x 27'
AGES: 2-12

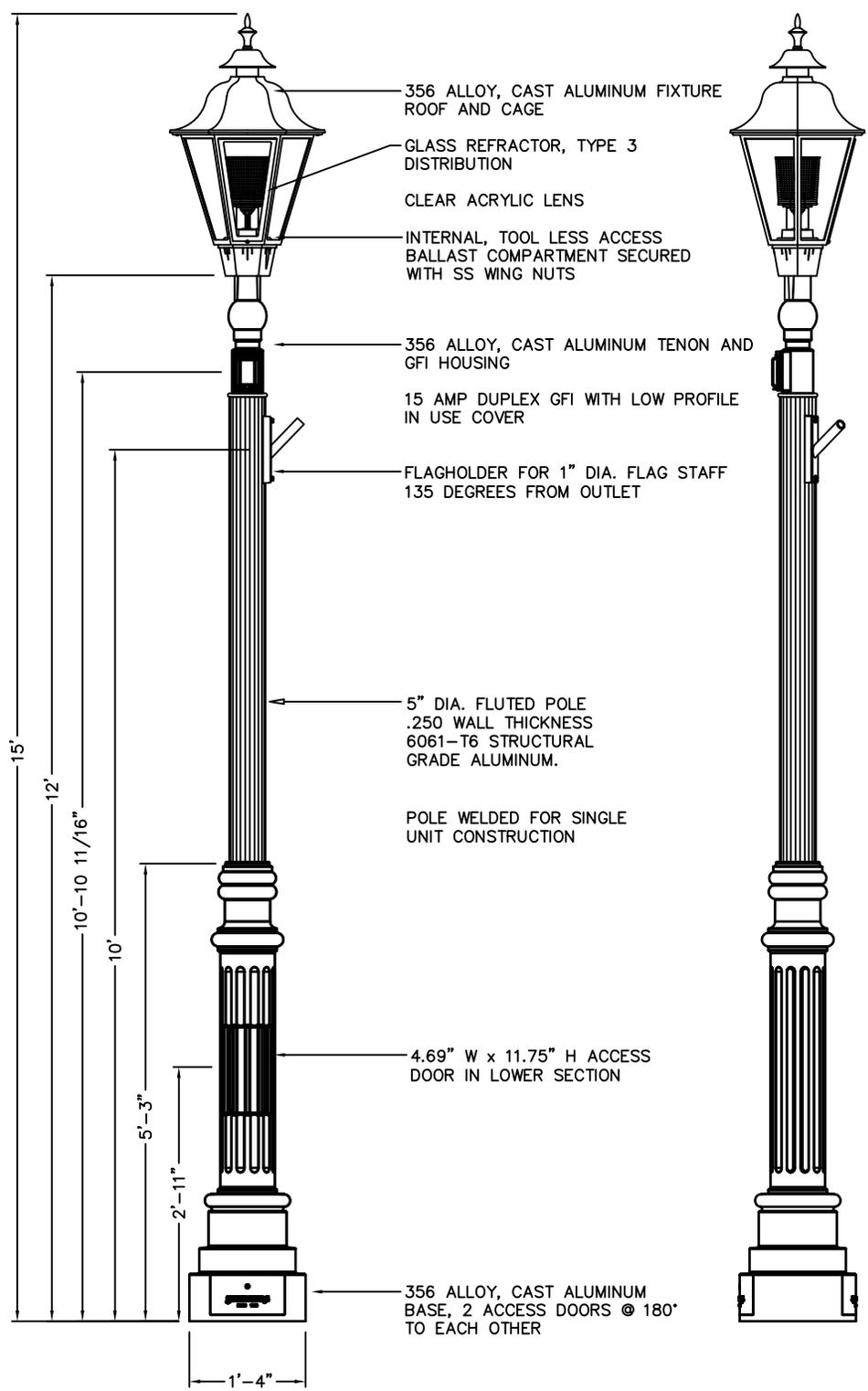
THIS IS ONLY A PRELIMINARY PLAN WHICH IS NOT FOR CONSTRUCTION.



A PROTECTIVE SURFACE IS REQUIRED FOR THIS PLAYSYSTEM THAT MEETS THE REQUIREMENTS OF ASTM F1292.



12" DIA. BOLT CIRCLE FOR 3/4" DIA ANCHOR BOLTS SQUARE PATTERN



| | | | | | | |
|-----|---|----------|------|---|----------------|---------|
| REV | REVISIONS | DATE | RVSD | TINLEY PARK, IL | DRAWN | SS |
| A | ORIGINAL | 7/31/13 | | | SCALE | 1:20 |
| B | CHANGED TO MOGUL SOCKET, ADDED GFI-LPIUC & FH TO PART # | 10/17/13 | MV | 6130CPT/2227/1112FP5.250/100WHP5-MT/120V/ | | |
| C | REVISED BOLT CIRCLE INFORMATION | 12/11/13 | SS | MOGUL/RE3G/GFI-LPIUC/FH/CA/BK | | |
| D | ADDED ACCESS DOOR / SHAFT TYPE CHANGED | 1/27/14 | SS | | | |
| | | | | SINCE 1923 | DRAWING NUMBER | SC19137 |

STERNBERG

SOLID STATE AREA LIGHTING

LCGR SERIES-LED

SPECIFICATIONS

LUMINAIRE

One piece high impact polycarbonate prismatic refracting lens provided with durable corrosion resistant cast aluminum fitter, struts, and top. Top is hinged for access. Standard fitter has 3" I.D. opening for tenon. All hardware is stainless steel.

LED POWER ARRAY™

Three-dimensional array of individual LED Tubes fastened to a retaining plate. Each LED Tube consists of circuit board populated with a multiple of LED's and is mechanically fastened to a radial aluminum heat sink. An acrylic Lens and end cap protects the LED Tube's internal components.

VERTICAL POWER ARRAY™ WITH REFRACTING

GLOBE: LED Tubes are aligned vertically and arranged radially to produce an even raw light distribution that simulates standard light sources. Used in conjunction with the external refracting lens which provides the optical control.

LED EMITTERS

High Output LED's are driven at 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

LED DRIVER

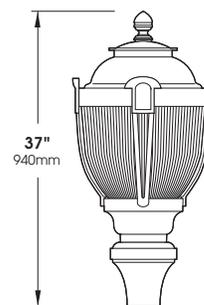
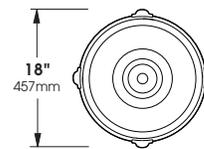
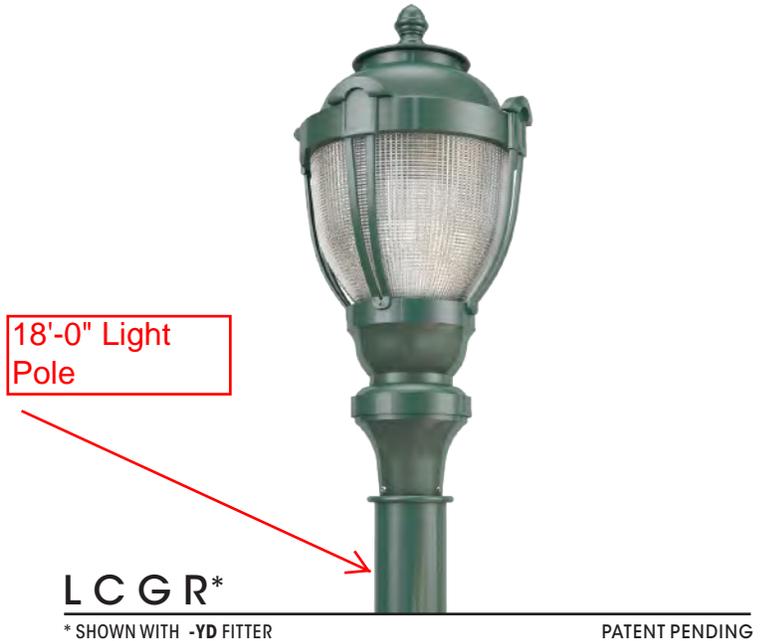
UL and CUL recognized Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60hz. Consult Factory for (347-480VAC). Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimmable and High-Low Driver options available.

FINISH

Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.

PROJECT NAME: **The Reserve at Tinley Park**

PROJECT TYPE: **Pole Mount**



2013141

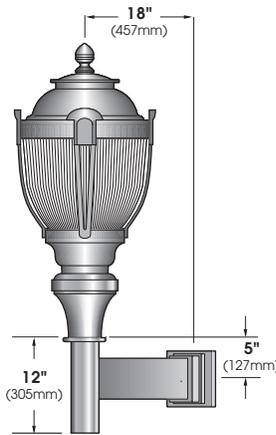
LCGR SERIES - LED

S P E C I F I C A T I O N S

OPTIONAL FITTERS

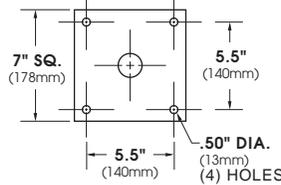


WALL MOUNT



EXTRUDED ALUMINUM ARM BRACKET AND CAST ALUMINUM WALL BRACKET ASSEMBLY PROVIDED WITH BUILT IN GASKETED WIRE ACCESS FOR FIXTURE/SUPPLY WIRE CONNECTION.

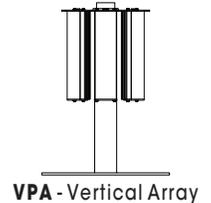
WALL PLATE



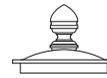
LED POWER ARRAY™ MODULES



Available in:
36 LED Module
48 LED Module
64 LED Module
80 LED Module



CLEAR ACRYLIC TOP
(FOR UPLIGHT)



PATENT PENDING

O R D E R I N G I N F O R M A T I O N

| LUMINAIRE-FITTER | OPTICS | # of LED's | COLOR | VOLTAGE | MOUNTING | FINISH | OPTIONS |
|---|--|--|--|--|---|---|--|
| LUMINAIRE | OPTICS | LED | MOUNTING | FINISH | OPTIONS | | |
| LUMINAIRE-FITTER | VERTICAL POWER ARRAY (CLEAR PRISMATIC GLOBE) | # of LEDs | COLOR | VOLTAGE | ARM MOUNT | STANDARD TEXTURED FINISH | LENS OPTIONS: |
| <input type="checkbox"/> LCGR-LED-YD <input type="checkbox"/> LCGR-LED-YE <input type="checkbox"/> LCGR-LED-YF <input type="checkbox"/> LCGR-LED-YH | <input type="checkbox"/> VPA - III <input type="checkbox"/> VPA - V | <input type="checkbox"/> 80LED (90 Watts) <input type="checkbox"/> 64LED (71 Watts) <input type="checkbox"/> 48LED (53 Watts) <input type="checkbox"/> 36LED (41 Watts) | <input type="checkbox"/> NW (4000K)* *STANDARD <input type="checkbox"/> CW (5000K) <input type="checkbox"/> WW (3000K) | <input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 347 <input type="checkbox"/> 480 | <input type="checkbox"/> 1 <input type="checkbox"/> 2-180 <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-90 <input type="checkbox"/> 3-120 <input type="checkbox"/> 4-90 WALL MOUNT <input type="checkbox"/> WM POST TOP <input type="checkbox"/> PT | <input type="checkbox"/> BLACK RAL-9005-T <input type="checkbox"/> WHITE RAL-9003-T <input type="checkbox"/> GREY RAL-7004-T <input type="checkbox"/> DARK BRONZE RAL-8019-T <input type="checkbox"/> GREEN RAL-6005-T | <input type="checkbox"/> CLEAR PRISMATIC POLYCARBONATE ... CP (STANDARD LENS) <input type="checkbox"/> CLEAR PRISMATIC ACRYLIC CA <input type="checkbox"/> CLEAR ACRYLIC TOP (FOR UPLIGHT) LT (STANDARD IS SOLID TOP) <input type="checkbox"/> HOUSE SIDE SHIELD ... HS <input type="checkbox"/> DIMMABLE DRIVER(S) (0-10V) DIM <input type="checkbox"/> HIGH-LOW DIMMING FOR HARDWIRED SWITCHING OR NON-INTEGRATED MOTION SENSOR HLSW <input type="checkbox"/> PHOTO CELL + VOLTAGE (EXAMPLE: PC120V) PC+V <input type="checkbox"/> 10KV SURGE PROTECTOR 10SP <input type="checkbox"/> 20KV SURGE PROTECTOR (277V & 480V Only) 20SP |
| | | Wattages are Max Input Watts OTHER LED COLORS AVAILABLE CONSULT FACTORY | | FOR SMOOTH FINISH REMOVE SUFFIX "T" (EXAMPLE: RAL-9500) SEE USALTG.COM FOR ADDITIONAL COLORS | | | |

SOLID STATE AREA LIGHTING

LCGR SERIES-LED

SPECIFICATIONS

LUMINAIRE

One piece high impact polycarbonate prismatic refracting lens provided with durable corrosion resistant cast aluminum fitter, struts, and top. Top is hinged for access. Standard fitter has 3" I.D. opening for tenon. All hardware is stainless steel.

LED POWER ARRAY™

Three-dimensional array of individual LED Tubes fastened to a retaining plate. Each LED Tube consists of circuit board populated with a multiple of LED's and is mechanically fastened to a radial aluminum heat sink. An acrylic Lens and end cap protects the LED Tube's internal components.

VERTICAL POWER ARRAY™ WITH REFRACTING

GLOBE: LED Tubes are aligned vertically and arranged radially to produce an even raw light distribution that simulates standard light sources. Used in conjunction with the external refracting lens which provides the optical control.

LED EMITTERS

High Output LED's are driven at 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

LED DRIVER

UL and CUL recognized Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60hz. Consult Factory for (347-480VAC). Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimmable and High-Low Driver options available.

FINISH

Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.

PROJECT NAME: **The Reserve at Tinley Park**

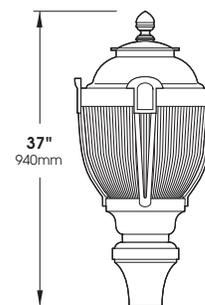
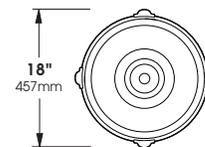
PROJECT TYPE: **Wall Bracket Mount**



LCGR*

* SHOWN WITH -YD FITTER

PATENT PENDING



2013141

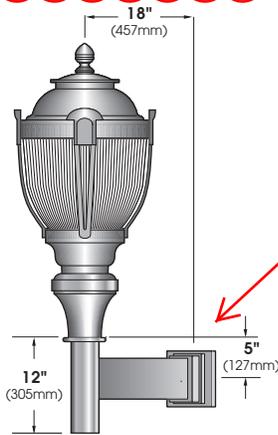
LCGR SERIES - LED

S P E C I F I C A T I O N S

OPTIONAL FITTERS

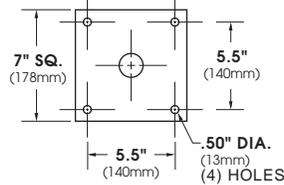


WALL MOUNT



EXTRUDED ALUMINUM ARM BRACKET AND CAST ALUMINUM WALL BRACKET ASSEMBLY PROVIDED WITH BUILT IN GASKETED WIRE ACCESS FOR FIXTURE/SUPPLY WIRE CONNECTION.

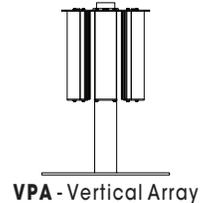
WALL PLATE



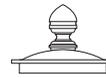
LED POWER ARRAY™ MODULES



Available in:
36 LED Module
48 LED Module
64 LED Module
80 LED Module



CLEAR ACRYLIC TOP
(FOR UPLIGHT)



PATENT PENDING

O R D E R I N G I N F O R M A T I O N

| LUMINAIRE-FITTER | OPTICS | # of LED's | COLOR | VOLTAGE | MOUNTING | FINISH | OPTIONS |
|---|---|--|--|--|---|---|--|
| LUMINAIRE | OPTICS | LED | MOUNTING | FINISH | OPTIONS | | |
| LUMINAIRE-FITTER | VERTICAL POWER ARRAY (CLEAR PRISMATIC GLOBE) | # of LEDs | COLOR | VOLTAGE | ARM MOUNT | STANDARD TEXTURED FINISH | LENS OPTIONS: |
| <input type="checkbox"/> LCGR-LED-YD <input type="checkbox"/> LCGR-LED-YE <input type="checkbox"/> LCGR-LED-YF <input type="checkbox"/> LCGR-LED-YH | <input type="checkbox"/> VPA - III <input type="checkbox"/> VPA - V | <input type="checkbox"/> 80LED (90 Watts) <input type="checkbox"/> 64LED (71 Watts) <input type="checkbox"/> 48LED (53 Watts) <input type="checkbox"/> 36LED (41 Watts) | <input type="checkbox"/> NW (4000K)* *STANDARD <input type="checkbox"/> CW (5000K) <input type="checkbox"/> WW (3000K) | <input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 347 <input type="checkbox"/> 480 | <input type="checkbox"/> 1 <input type="checkbox"/> 2-180 <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-90 <input type="checkbox"/> 3-120 <input type="checkbox"/> 4-90 WALL MOUNT <input type="checkbox"/> WM POST TOP <input type="checkbox"/> PT | <input type="checkbox"/> BLACK RAL-9005-T <input type="checkbox"/> WHITE RAL-9003-T <input type="checkbox"/> GREY RAL-7004-T <input type="checkbox"/> DARK BRONZE RAL-8019-T <input type="checkbox"/> GREEN RAL-6005-T | <input type="checkbox"/> CLEAR PRISMATIC POLYCARBONATE ... CP (STANDARD LENS) <input type="checkbox"/> CLEAR PRISMATIC ACRYLIC CA <input type="checkbox"/> CLEAR ACRYLIC TOP (FOR UPLIGHT) LT (STANDARD IS SOLID TOP) <input type="checkbox"/> HOUSE SIDE SHIELD ... HS <input type="checkbox"/> DIMMABLE DRIVER(S) (0-10V) DIM <input type="checkbox"/> HIGH-LOW DIMMING FOR HARDWIRED SWITCHING OR NON-INTEGRATED MOTION SENSOR HLSW <input type="checkbox"/> PHOTO CELL + VOLTAGE (EXAMPLE: PC120V) PC+V <input type="checkbox"/> 10KV SURGE PROTECTOR 10SP <input type="checkbox"/> 20KV SURGE PROTECTOR (277V & 480V Only) 20SP |
| | | Wattages are Max Input Watts | OTHER LED COLORS AVAILABLE CONSULT FACTORY | FOR SMOOTH FINISH REMOVE SUFFIX "T" (EXAMPLE: RAL-9500) SEE USALTG.COM FOR ADDITIONAL COLORS | | | |

FEATURES & SPECIFICATIONS

INTENDED USE — The T Series LED surface mount combines digital lighting and control technologies with a high-performance optical system to deliver general ambient lighting for many applications such as schools, offices and hospitals. High-efficacy light engine delivers long life and excellent color, ensuring a superior quality light installation that is highly efficient and sustainable. **Certain airborne contaminants can diminish integrity of acrylic.** [Click here for Acrylic Environmental Compatibility table for suitable uses.](#)

CONSTRUCTION — Housing formed from cold-rolled steel. Housing is painted after fabrication for superior finish.

Smooth hemmed sides and smooth inward-formed end flanges, for easy handling.

Standard extruded aluminum door frame has superior structural integrity with premium appearance and mitered corners. Door frame is painted after fabrication, standard. Powder-painted rotary cam latches provide easy, secure door closure. Integral T-bar clips are standard. Acrylic shielding material is 100% UV stabilized.

OPTICS — Standard pattern #19 lens, 0.156" thick with highly transmissive overlay, is standard for superior brightness control. Overlay is 0.040" thick. Other lenses are available.

ELECTRICAL — Long-life LEDs, coupled with high-efficiency drivers, provide superior quantity and quality of illumination for extended service life. 90% LED lumen maintenance at 60,000 hours (L90/60,000).

nLight® embedded controls make each luminaire addressable - allowing it to digitally communicate with other nLight enabled controls such as dimmers, switches, occupancy sensors and photocontrols. Simply connect all the nLight enabled control devices and the luminaires using standard Cat-5 cabling. Unique plug-and-play convenience as devices and luminaires automatically discover each other and self-commission.

Lumen Management: Unique lumen management system (option N80) provides onboard intelligence that actively manages the LED light source so that constant lumen output is maintained over the system life, preventing the energy waste created by the traditional practice of over-lighting.

Step-level dimming option allows system to be switched to 50% power for compliance with common energy codes while maintaining fixture appearance.

eldoLED driver options deliver choice of dimming range, and choices for control, while assuring flicker-free, low-current inrush, 89% efficiency and low EMI.

Driver disconnect provided where required to comply with US and Canadian codes.

INSTALLATION — Surface mount. Drivers and internal components are accessible from floor. LED boards include plug-in connectors for easy replacement or servicing. Suitable for damp location.

LISTINGS — CSA certified to US and Canadian standards. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

| |
|----------------|
| Catalog Number |
| Notes |
| Type |

T SERIES SURFACE MOUNT

2TLX2

2' x 2' LED

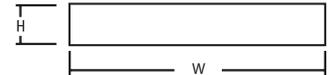


Specifications

Length: 24-3/4 (62.9)

Width: 24-3/4 (62.9)

Depth: 4-3/4 (12.1)



All dimensions are inches (centimeters) unless otherwise indicated.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: 2TLX2 33L RW A19 EZ1 LP835 N80

| 2TLX2 | | Lumens ¹ | | Door | | Lens | | Voltage | | Driver | |
|-------------------|-----------------|---------------------|---|------|---------------------------|------------|-----------------------------------|----------------|------------------|------------|--|
| 2TLX2 | Surface LED 2x2 | 20L | 2000 lumens | FW | Flush aluminum, white | A12 | #12 pattern acrylic | (blank) | MVOLT (120-277) | EZ1 | eldoLED dims to 1% (0-10 volt dimming) |
| | | 33L | 3300 lumens | | | A19 | #19 pattern acrylic, 0.156" thick | 347 | 347 ² | EZB | eldoLED dims to dark (0-10 volt dimming) |
| | | 40L | 4000 lumens | RW | Regressed aluminum, white | MWS | Matte white .040" thick | | | EDB | eldoLED DALI ³ |
| | | | | | | MPL | Micro prism | | | EXB | eldoLED DMX/RDM ³ |
| | | | | | | SWL | Satin white | | | EXA1 | Dims to 1%, XPoint wireless enabled ^{3,4} |
| | | | | | | | | | | EXAB | Dims to dark, XPoint wireless enabled ^{3,4} |
| | | | | | | | | | | SLD | Step-level dimming ³ |
| Color temperature | | Control | | | | Options | | | | | |
| LP830 | 3000 K | (blank) | No controls | | | EL7L | 700 nominal lumen battery pack | | | | |
| LP835 | 3500 K | N80 | nLight with 80% (L80) lumen management | | | EL14L | 1400 nominal lumen battery pack | | | | |
| LP840 | 4000 K | N80EMG | nLight with 80% (L80) lumen management for use with generator supply EM power | | | | | | | | |
| LP850 | 5000 K | N100 | nLight without lumen management | | | | | | | | |
| | | N100EMG | nLight without lumen management for use with generator supply EM power | | | | | | | | |

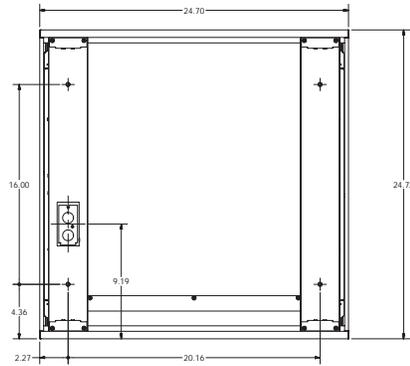
Notes

- 1 Approximate lumen output.
- 2 Not available with EL7L or EL14L battery packs or SLD driver.
- 3 Not available with N80, N80EMG, N100, or N100EMG.
- 4 Gateway not included. Requires on-site commissioning. Visit www.lightingcontrols.com/XPointWireless for more information.

2TLX2 Surface Mount LED Lighting 2' x 2'

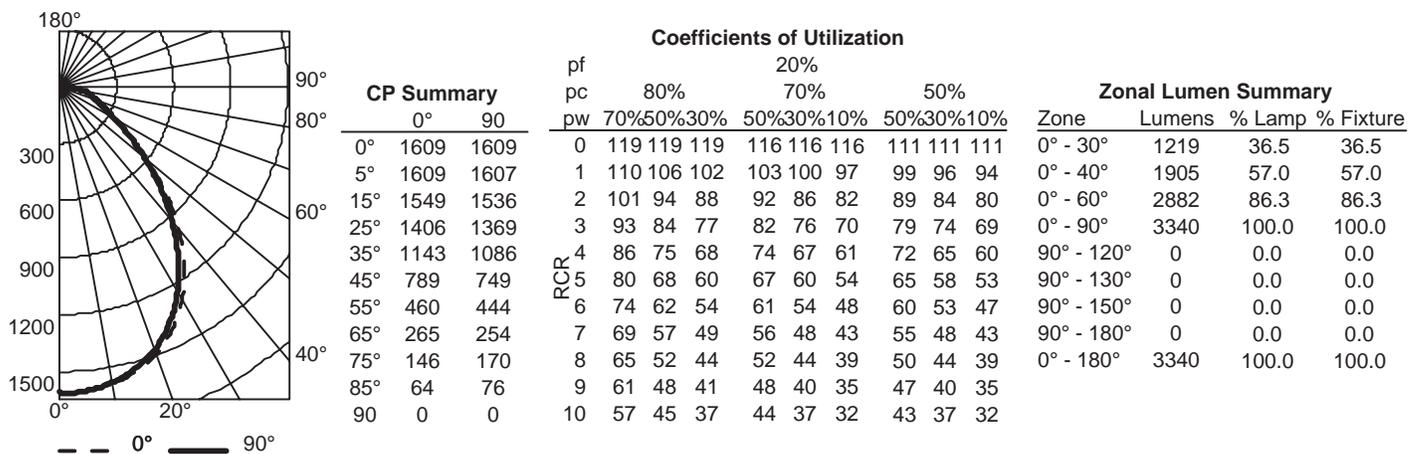
| Performance Data | | | | |
|------------------|---------|---------|-------------|-------|
| Lumen | Package | Lumens | Input Watts | LPW |
| 20L | LP830 | 2,034.7 | 18 | 113.0 |
| 20L | LP835 | 2,078.3 | 18 | 115.5 |
| 20L | LP840 | 2,092.9 | 18 | 116.3 |
| 20L | LP850 | 2,165.6 | 18 | 120.3 |
| 33L | LP830 | 3,246.3 | 29 | 111.9 |
| 33L | LP835 | 3,317.0 | 29 | 114.4 |
| 33L | LP840 | 3,339.8 | 29 | 115.2 |
| 33L | LP850 | 3,458.3 | 29 | 119.3 |
| 40L | LP830 | 3,811.6 | 35 | 108.9 |
| 40L | LP835 | 3,892.7 | 35 | 111.2 |
| 40L | LP840 | 3,921.8 | 35 | 112.1 |
| 40L | LP850 | 4,058.9 | 35 | 116.0 |

MOUNTING DATA



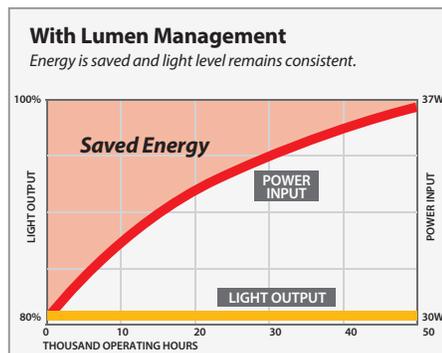
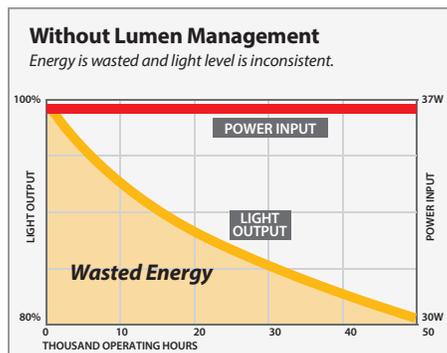
PHOTOMETRICS

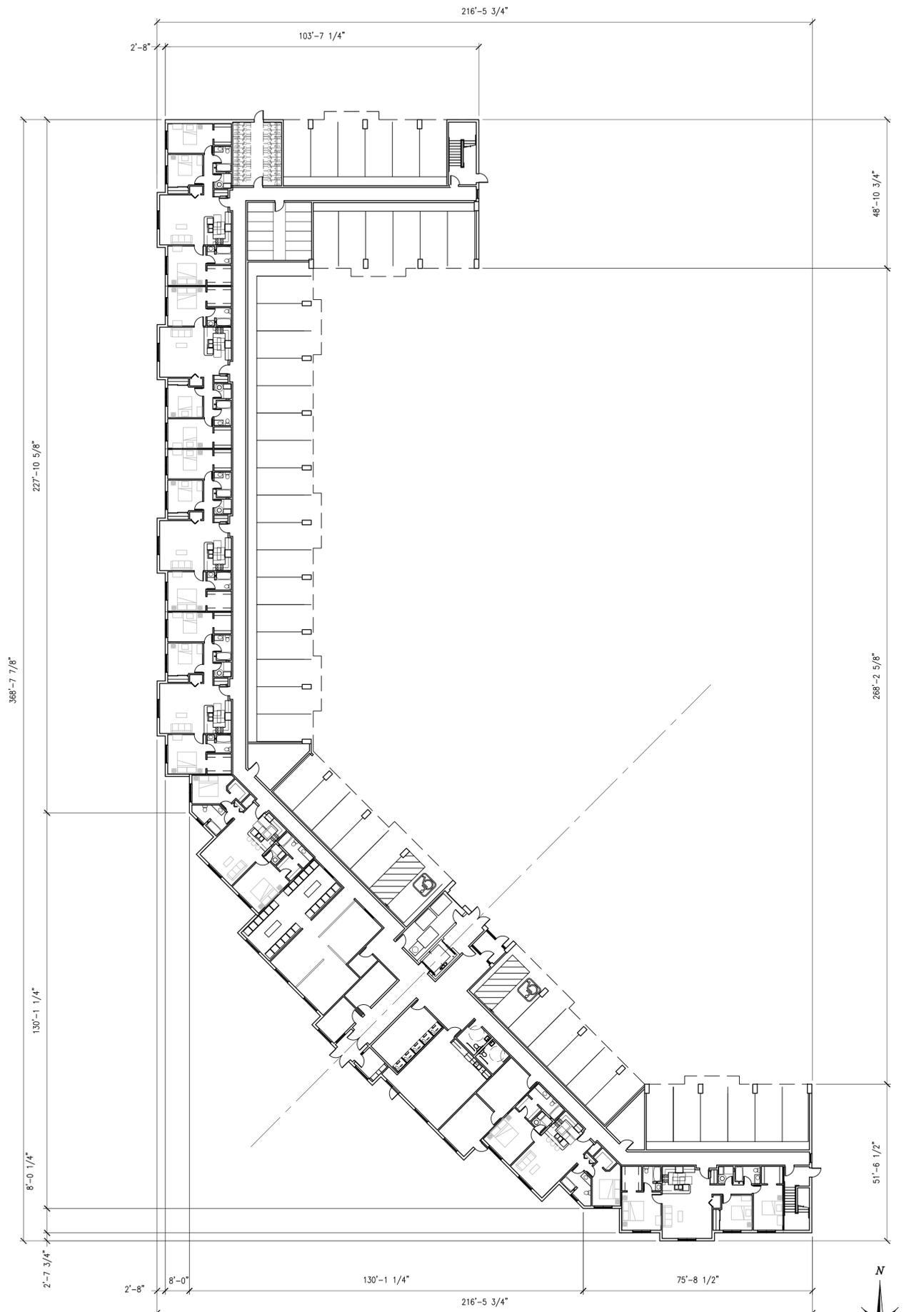
2TL2 33L FW A12 EZ1 LP840, 3339.8 delivered lumens, test no. LTL26923P18, tested in accordance to IESNA LM-79.



Constant Lumen Management

Enabled by the embedded nLight control, the TLX actively tracks its run-time and manages its light source such that constant lumen output is maintained over the system life. Referred to as lumen management, this feature eliminates the energy waste created by the traditional practice of over-lighting.





FIRST FLOOR PLAN

SCALE: 1" = 20'

NOTES

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- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
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- PROVIDE AN APPROVED PICTORAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO EACH ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATOR IN CASE OF FIRE. THE SIGN SHALL READ: "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS."
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- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4



GLEASON
ARCHITECTS, P.C.

ETERA GROUP

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P: 815.748.1200
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| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| | 3-Bed Type B | 4 | 0 | 0 | 0 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

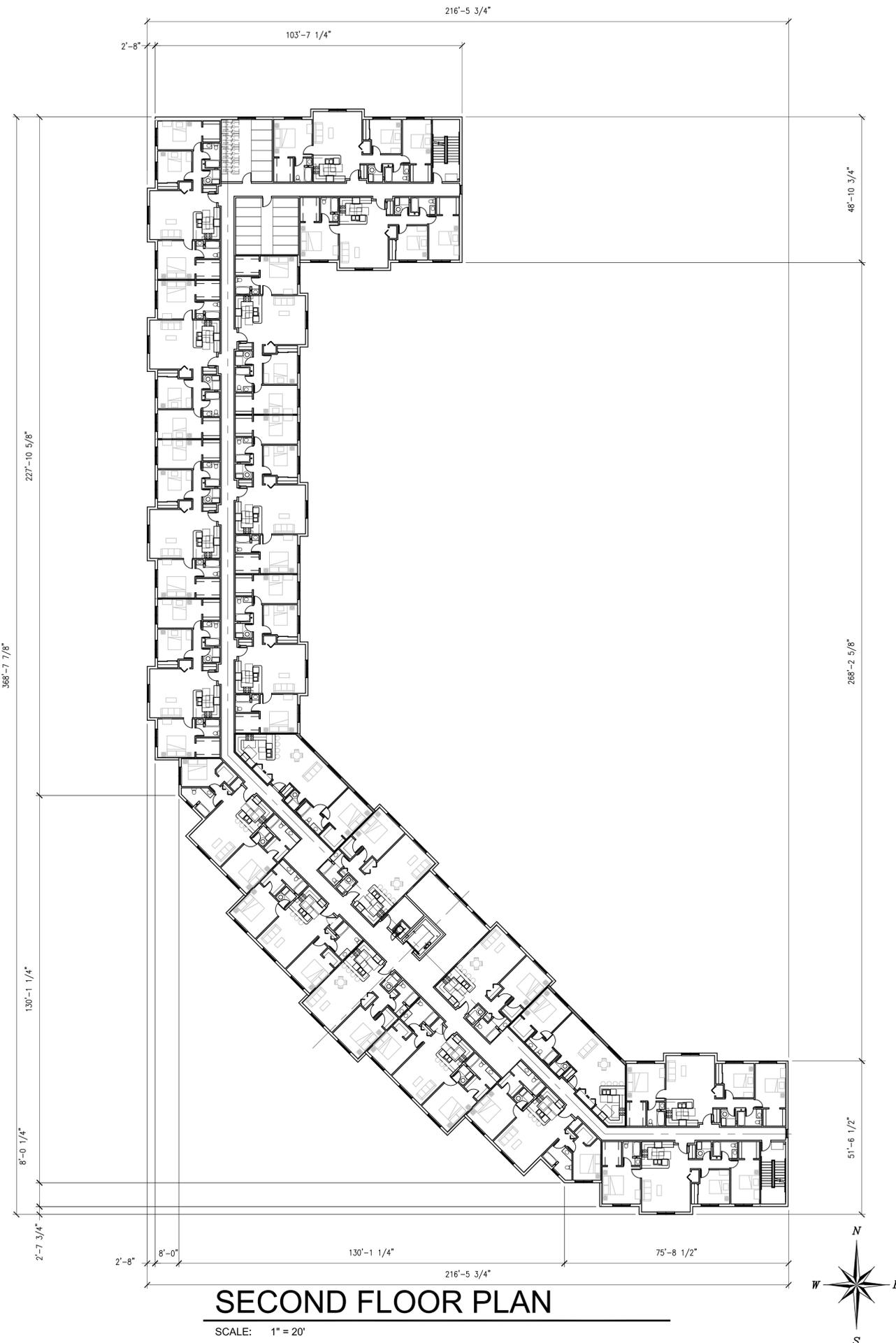
CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A1-1 Overall First Floor Plan
PLOT SCALE 1:1

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
OVERALL FIRST
FLOOR PLAN

SHEET NUMBER
A1.1



SECOND FLOOR PLAN

SCALE: 1" = 20'

NOTES

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- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4



GLEASON ARCHITECTS, P.C.
 3052 West 167th Street Markham, IL 60428
 P: 708.748.1200 www.teragroup.com



| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| | 3-Bed Type B | 4 | 0 | 0 | 0 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

PROJECT: THE RESERVE AT TINLEY PARK
 NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLIN-GRANVILLE RD
 COLUMBUS OH 43231

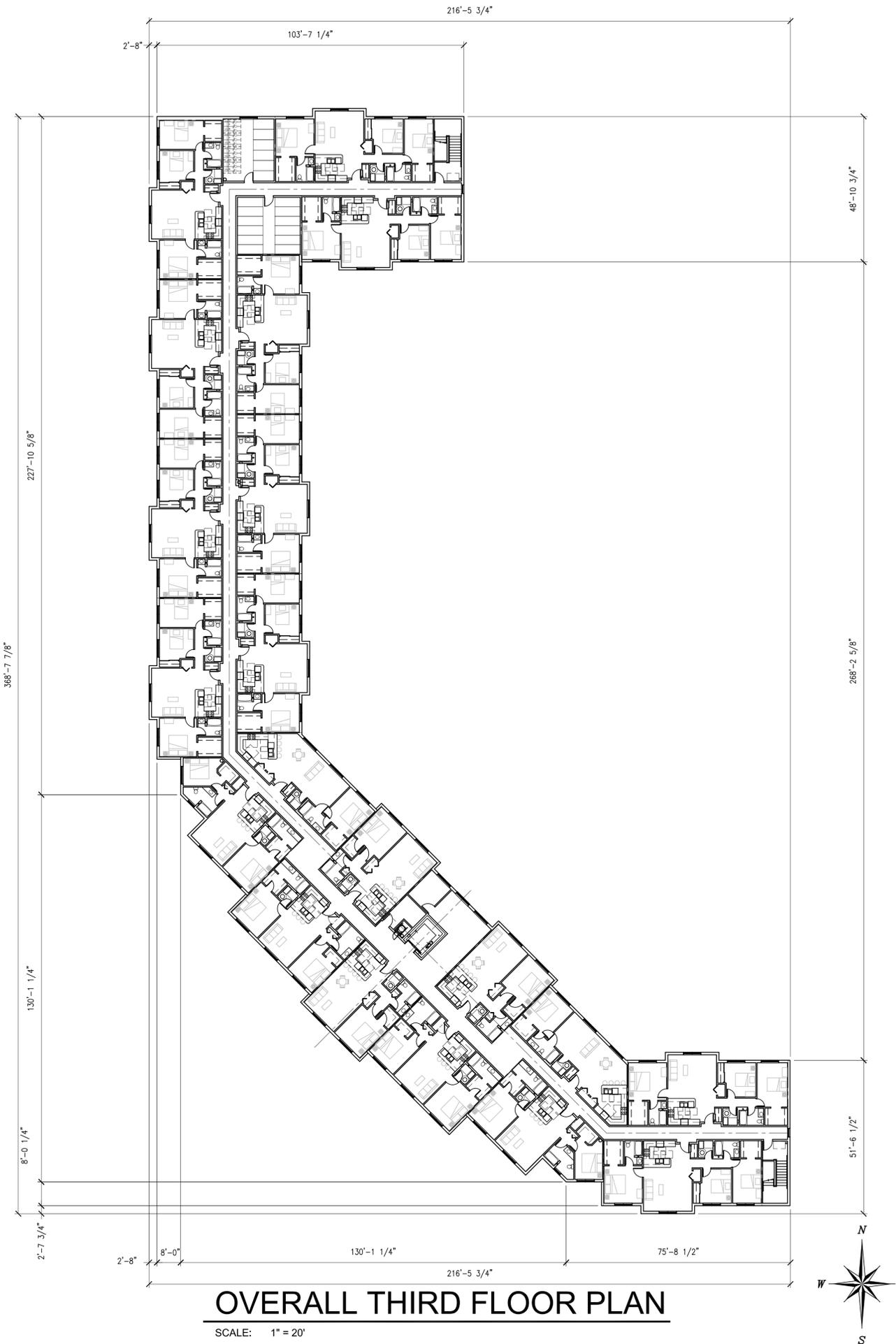
JOB NO. 15-016
 DATE 1-11-16
 FILE A1-2 Overall 2nd floor Plan
 PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
 Date _____

SHEET TITLE
 OVERALL SECOND
 FLOOR PLAN

SHEET NUMBER
A1.2



OVERALL THIRD FLOOR PLAN

SCALE: 1" = 20'

NOTES

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| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

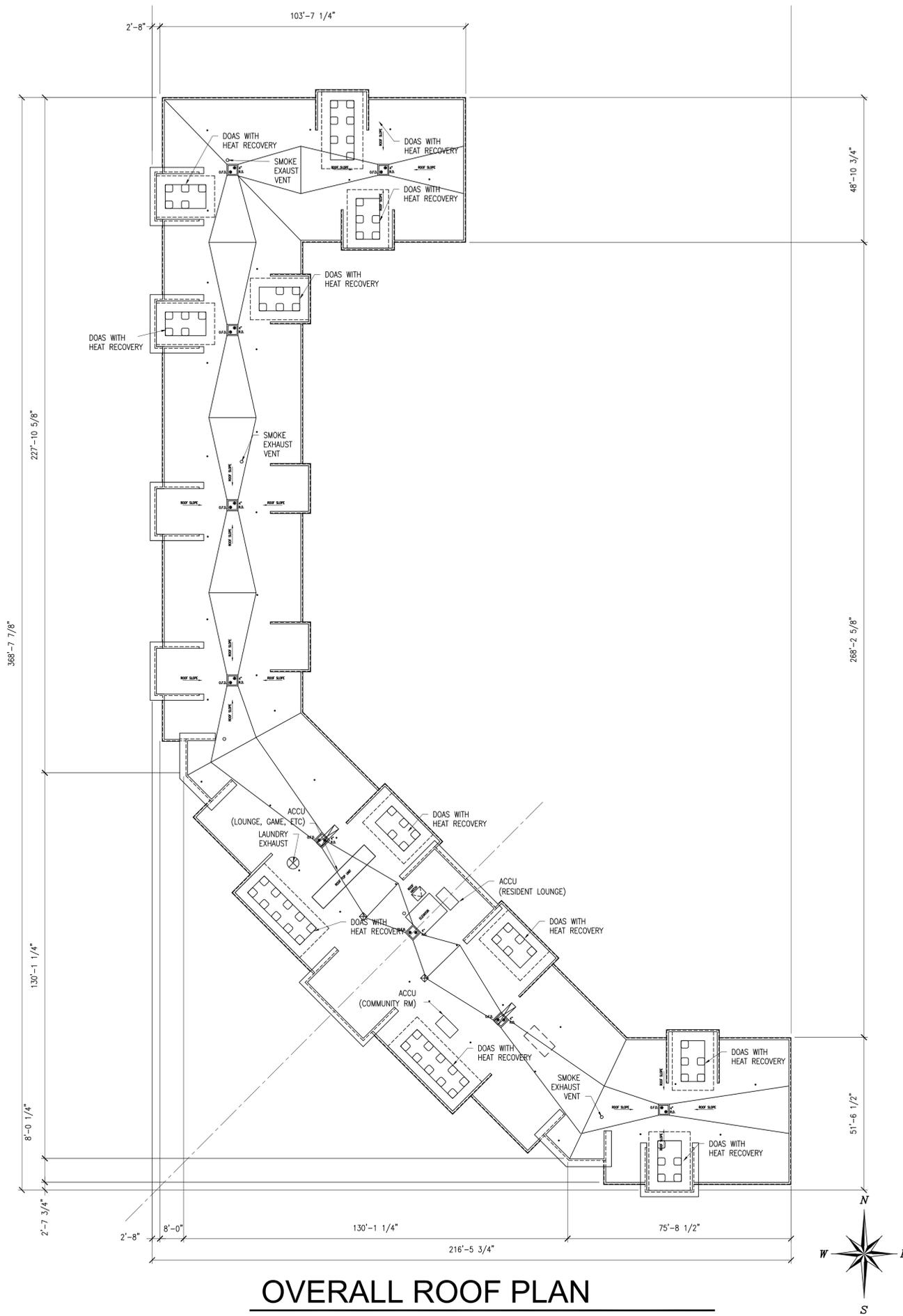
JOB NO. 15-016
DATE 1-11-16
FILE A1-3 Overall 3rd Floor Plan
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
OVERALL THIRD
FLOOR PLAN

SHEET NUMBER
A1.3



OVERALL ROOF PLAN

SCALE: 1" = 20'



GLEASON ARCHITECTS, P.C.
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| REVISIONS | DATE |
|-----------|------|
| | |

PROJECT: THE RESERVE AT TINLEY PARK
 NORTHWEST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLIN-GRANVILLE RD
 COLUMBUS OH 43231

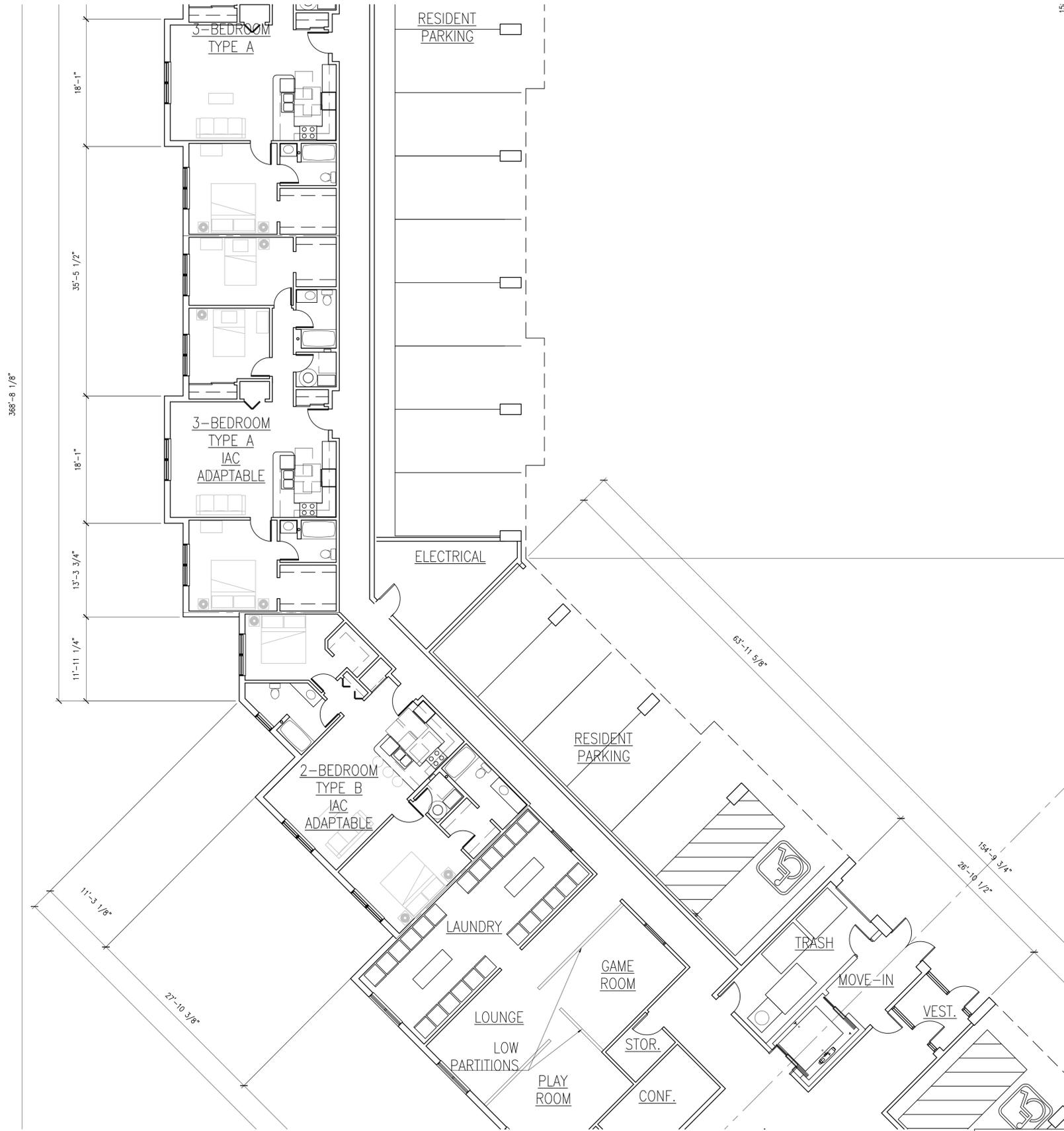
JOB NO. 15-016
 DATE 1-11-16
 FILE A1-4 Overall Roof Plan
 PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
 Date _____

SHEET TITLE
 OVERALL ROOF PLAN

SHEET NUMBER
A1-4



NOTES

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REVISIONS DATE

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 |
| Total | 47 | | | | | | |

PROJECT: THE RESERVE AT TINLEY PARK
 NORTH-EAST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLING-GRANVILLE RD
 COLUMBUS OH 43231

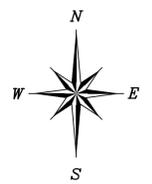
JOB NO. 15-016
 DATE 1-11-16
 FILE A2-1-2
 PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
 Date _____

SHEET TITLE
 ENLARGED FIRST FLOOR PLAN
 NORTH CENTER

SHEET NUMBER
A2-1-1



ENLARGED FIRST FLOOR PLAN - NORTH CENTER

SCALE: 1/8" = 1'-0"



NOTES

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- ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS, AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION, OR CONTROL ELEMENTS SHALL BE IDENTIFIED WITH SIGNAGE OF DURABLE MATERIALS, PERMANENTLY INSTALLED, AND READILY VISIBLE.
- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4



ETERA GROUP
 3052 West 167th Street Markham, IL 60428
 P: 708.768.1200 www.eteragroup.com



| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| | 3-Bed Type B | 4 | 0 | 0 | 0 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|--|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 |
| Total | 47 | | | | | | |

ENLARGED FIRST FLOOR PLAN - CORE

SCALE: 1/8" = 1'-0"



PROJECT: THE RESERVE AT TINLEY PARK
 NORTH-EAST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLIN-GRANVILLE RD
 COLUMBUS OH 43231

JOB NO. 15-016
 DATE 1-11-16
 FILE A2-1-3
 PLOT SCALE 1:1

OWNER APPROVAL
 Signature _____
 Date _____

SHEET TITLE
 ENLARGED FIRST FLOOR PLAN
 CORE

SHEET NUMBER
A2.1.3



NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- ALL STEEL COLUMNS SHALL RECEIVE SPRAY APPLIED FIREPROOFING UL # X752 1 HOUR RATING
- THE GURNEE SIZED ELEVATOR (INDICATED ON THE PLAN) SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN THREE INCHES (3") HIGH AND SHALL BE PLACED ON BOTH SIDES OF THE HOIST WAY DOOR FRAME
- THE WATER MAIN SERVING THE FIRE SPRINKLER SYSTEM TO BE FLUSHED AT A RATE APPROPRIATE TO ITS SIZE, PRIOR TO CONNECTION TO THE SYSTEM. NOTIFY THE LOCAL AUTHORITY TWENTY-FOUR HOURS (24) IN ADVANCE OF THE FLUSHING TO WITNESS.
- PROVIDE AN APPROVED PICTORIAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO EACH ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATOR IN CASE OF FIRE. THE SIGN SHALL READ: "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS."
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 www.eteragroup.com



| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

PROJECT: THE RESERVE AT TINLEY PARK
 NORTH-EAST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLING-GRANVILLE RD
 COLUMBUS OH 43231

JOB NO. 15-016
 DATE 1-11-16
 FILE A2.1.4
 PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
 Date _____

SHEET TITLE
 ENLARGED FIRST FLOOR PLAN
 EAST

SHEET NUMBER
A2.1.4



ENLARGED FIRST FLOOR PLAN - EAST

SCALE: 1/8" = 1'-0"

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 |
| Total | 47 | | | | | | |



NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- ALL STEEL COLUMNS SHALL RECEIVE SPRAY APPLIED FIREPROOFING UL # X752 1 HOUR RATING
- THE GURNEE SIZED ELEVATOR (INDICATED ON THE PLAN) SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN THREE INCHES (3") HIGH AND SHALL BE PLACED ON BOTH SIDES OF THE HOIST WAY DOOR FRAME
- THE WATER MAIN SERVING THE FIRE SPRINKLER SYSTEM TO BE FLUSHED AT A RATE APPROPRIATE TO ITS SIZE, PRIOR TO CONNECTION TO THE SYSTEM. NOTIFY THE LOCAL AUTHORITY TWENTY-FOUR HOURS (24) IN ADVANCE OF THE FLUSHING TO WITNESS.
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- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4



GLEASON ARCHITECTS, P.C.

ETERA GROUP

3052 West 167th Street Markham, IL 60428
P: 815.748.1200 www.eteragroup.com

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| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| | 3-Bed Type B | 4 | 0 | 0 | 0 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|--------------------------------------|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) | Total Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 | 306 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 | 334 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 | 298 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 | 297 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 | 303 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 | 303 |
| Total | 47 | | | | | | | |

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A2-21
PLOT SCALE 1:1

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
ENLARGED SECOND FLOOR PLAN
NORTH

SHEET NUMBER
A2.2.1

ENLARGED SECOND FLOOR PLAN - NORTH

SCALE: 1/8" = 1'-0"





ENLARGED SECOND FLOOR PLAN - NORTH CENTER

SCALE: 1/8" = 1'-0"

NOTES

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- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- ALL STEEL COLUMNS SHALL RECEIVE SPRAY APPLIED FIREPROOFING UL # X752 1 HOUR RATING
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- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
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| Total | 47 | | | | | | |



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REVISIONS DATE

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A2-22
PLOT SCALE 1:1

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
ENLARGED SECOND FLOOR PLAN
NORTH CENTER

SHEET NUMBER
A2.2.2



NOTES

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REVISIONS DATE

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 134 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 298 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 297 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 303 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 303 |
| Total | 47 | | | | | | |

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A2-2-3
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
ENLARGED SECOND FLOOR PLAN CORE

SHEET NUMBER
A2.2.3



ENLARGED SECOND FLOOR PLAN - CORE

SCALE: 1/8" = 1'-0"



NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- ALL STEEL COLUMNS SHALL RECEIVE SPRAY APPLIED FIREPROOFING UL # X752 1 HOUR RATING
- THE GURNEE SIZED ELEVATOR (INDICATED ON THE PLAN) SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN THREE INCHES (3") HIGH AND SHALL BE PLACED ON BOTH SIDES OF THE HOIST WAY DOOR FRAME
- THE WATER MAIN SERVING THE FIRE SPRINKLER SYSTEM TO BE FLUSHED AT A RATE APPROPRIATE TO ITS SIZE, PRIOR TO CONNECTION TO THE SYSTEM. NOTIFY THE LOCAL AUTHORITY TWENTY-FOUR HOURS (24) IN ADVANCE OF THE FLUSHING TO WITNESS.
- PROVIDE AN APPROVED PICTORIAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO EACH ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATOR IN CASE OF FIRE. THE SIGN SHALL READ: "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS."
- PROVIDE A KEY BOX IF REQUIRED BY THE LOCAL AUTHORITY. VERIFY WITH THE AHJ THE DEVICE REQUIREMENTS AND LOCATION
- ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS, AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION, OR CONTROL ELEMENTS SHALL BE IDENTIFIED WITH SIGNAGE OF DURABLE MATERIALS, PERMANENTLY INSTALLED, AND READILY VISIBLE.
- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4



GLEASON
ARCHITECTS, P.C.

ETERA GROUP

3052 West 167th Street Markham, IL 60428
P: 815.748.1200 www.eteragroup.com

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BUCKEYE COMMUNITY HOPE FOUNDATION

REVISIONS DATE

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 |
| Total | 47 | | | | | | |

ENLARGED SECOND FLOOR PLAN - EAST

SCALE: 1/8" = 1'-0"

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A2-24
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
ENLARGED SECOND FLOOR PLAN EAST

SHEET NUMBER
A2.2.4

NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- ALL STEEL COLUMNS SHALL RECEIVE SPRAY APPLIED FIREPROOFING UL # X752 1 HOUR RATING
- THE GURNEE SIZED ELEVATOR (INDICATED ON THE PLAN) SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN THREE INCHES (3") HIGH AND SHALL BE PLACED ON BOTH SIDES OF THE HOIST WAY DOOR FRAME
- THE WATER MAIN SERVING THE FIRE SPRINKLER SYSTEM TO BE FLUSHED AT A RATE APPROPRIATE TO ITS SIZE, PRIOR TO CONNECTION TO THE SYSTEM. NOTIFY THE LOCAL AUTHORITY TWENTY-FOUR HOURS (24) IN ADVANCE OF THE FLUSHING TO WITNESS.
- PROVIDE AN APPROVED PICTORAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO EACH ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATOR IN CASE OF FIRE. THE SIGN SHALL READ: "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS."
- PROVIDE A KEY BOX IF REQUIRED BY THE LOCAL AUTHORITY. VERIFY WITH THE AHJ THE DEVICE REQUIREMENTS AND LOCATION
- ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS, AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION, OR CONTROL ELEMENTS SHALL BE IDENTIFIED WITH SIGNAGE OF DURABLE MATERIALS, PERMANENTLY INSTALLED, AND READILY VISIBLE.
- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4

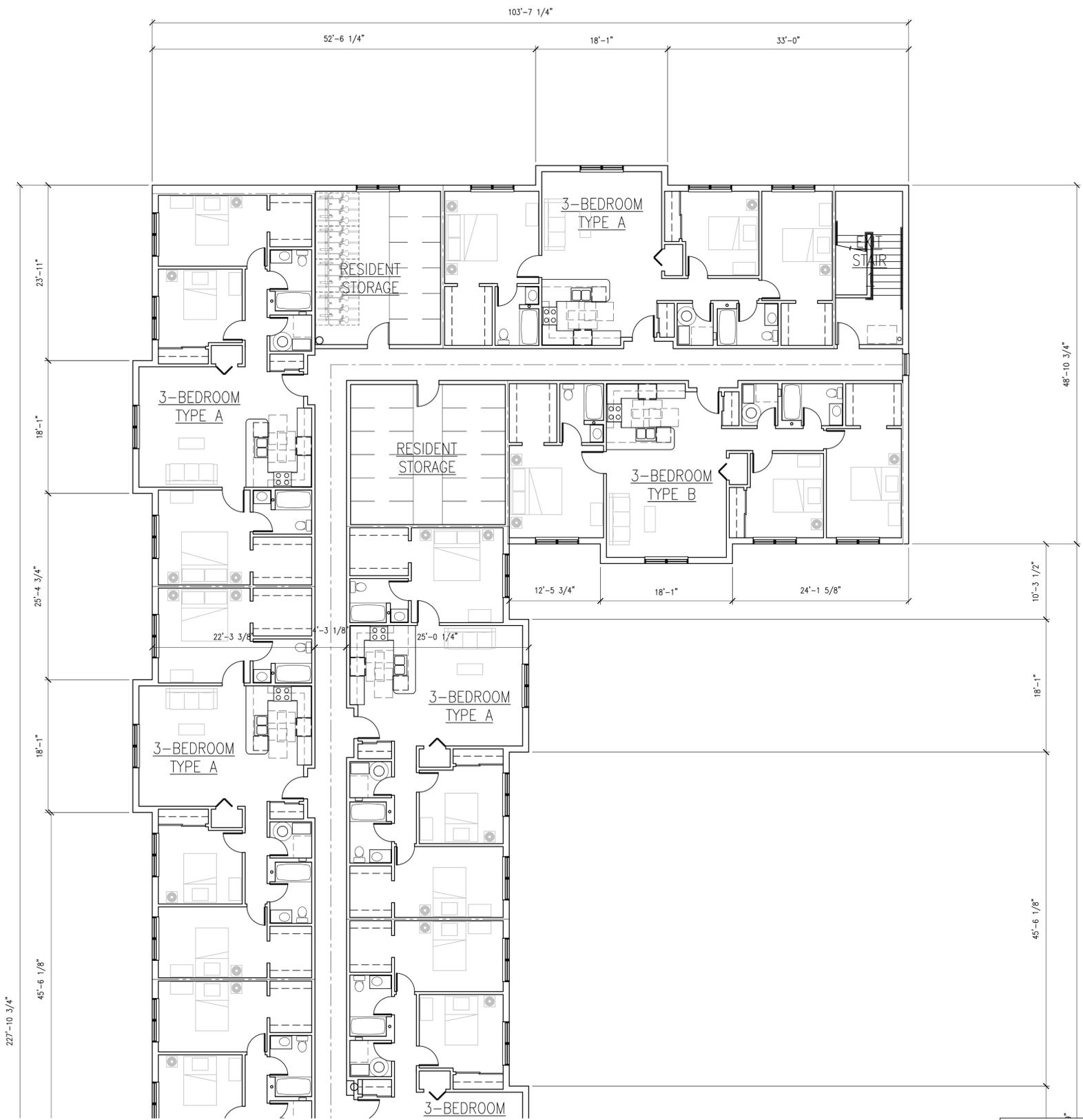


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| REVISIONS | DATE |
|-----------|------|
| | |



| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|--|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 |
| Total | 47 | | | | | | |

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLING-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A2-3-1
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
ENLARGED THIRD FLOOR PLAN
NORTH

SHEET NUMBER
A2.3.1

ENLARGED THIRD FLOOR PLAN - NORTH

SCALE: 1/8" = 1'-0"





NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- ALL STEEL COLUMNS SHALL RECEIVE SPRAY APPLIED FIREPROOFING UL # X752 1 HOUR RATING
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- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4



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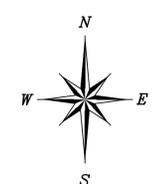
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| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
| 1-Bedroom Type A | 6 | 72 | 150 | 50 | 100 | 88 | 218 |
| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 |
| Total | 47 | | | | | | |



ENLARGED THIRD FLOOR PLAN - CORE

SCALE: 1/8" = 1'-0"

PROJECT: THE RESERVE AT TINLEY PARK
 NORTH-EAST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLIN-GRANVILLE RD
 COLUMBUS OH 43231

JOB NO. 15-016
 DATE 1-11-16
 FILE A2-3-3
 PLOT SCALE 1:1

OWNER APPROVAL
 Signature _____
 Date _____

SHEET TITLE
 ENLARGED THIRD FLOOR PLAN CORE

SHEET NUMBER
A2.3.3



NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE
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- PROVIDE SIGNAGE ON DOORS OF ALL ELECTRICAL ROOMS CONTAINING CONTROL PANELS STATING: "ELECTRICAL ROOM". REFER TO SHEET A10.4



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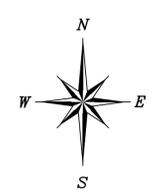
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| REVISIONS | DATE |
|-----------|------|
| | |

| UNIT SUMMARY | | | | | |
|---------------|--------------|---------------|------------------|---------------|----------------|
| Floor | Unit Type | FHA Adaptable | Sensory Impaired | IAC Adaptable | IAC Accessible |
| 1st Floor | 1-Bed Type A | 0 | 0 | 0 | 0 |
| | 1-Bed Type B | 0 | 0 | 0 | 0 |
| | 2-Bed Type A | 0 | 0 | 0 | 0 |
| | 2-Bed Type B | 2 | 0 | 1 | 1 |
| | 3-Bed Type A | 5 | 1 | 1 | 1 |
| | 3-Bed Type B | 0 | 0 | 0 | 0 |
| Totals | 7 | 1 | 2 | 2 | |
| 2nd Floor | 1-Bed Type A | 3 | 0 | 1 | 1 |
| | 1-Bed Type B | 2 | 0 | 1 | 1 |
| | 2-Bed Type A | 2 | 0 | 1 | 0 |
| | 2-Bed Type B | 2 | 0 | 0 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 4 | 2 | |
| 3rd Floor | 1-Bed Type A | 3 | 0 | 1 | 0 |
| | 1-Bed Type B | 2 | 0 | 1 | 0 |
| | 2-Bed Type A | 2 | 0 | 1 | 1 |
| | 2-Bed Type B | 2 | 0 | 1 | 0 |
| | 3-Bed Type A | 9 | 0 | 1 | 0 |
| | 3-Bed Type B | 2 | 0 | 0 | 0 |
| Totals | 20 | 0 | 5 | 1 | |
| Total Project | 1-Bed Type A | 6 | 0 | 2 | 1 |
| | 1-Bed Type B | 4 | 0 | 2 | 1 |
| | 2-Bed Type A | 4 | 0 | 2 | 1 |
| | 2-Bed Type B | 6 | 0 | 2 | 1 |
| | 3-Bed Type A | 23 | 1 | 3 | 1 |
| | 3-Bed Type B | 4 | 0 | 0 | 0 |
| Totals | 47 | 1 | 11 | 5 | |
| % | 100% | 2% | 23% | 11% | |

| RESIDENT STORAGE | | | | | | | |
|------------------|-----------------|---|--|---|--|--|--|
| Unit Type | Number of Units | Storage Space Required Per IHDA (cu ft) | Storage Space Required Per Tinley Park (cu ft) | Minimum Storage Space Required in Each Unit (cu ft) | Common Area Storage Space Required for Each Unit (cu ft) | Storage Space Provided in Unit (cu ft) | Common Area Storage Space Provided (cu ft) |
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| 1-Bedroom Type B | 4 | 72 | 150 | 50 | 100 | 116 | 218 |
| 2-Bedroom Type A | 4 | 128 | 200 | 67 | 133 | 80 | 218 |
| 2-Bedroom Type B | 6 | 128 | 200 | 67 | 133 | 79 | 218 |
| 3-Bedroom Type A | 23 | 200 | 250 | 84 | 166 | 85 | 218 |
| 3-Bedroom Type B | 4 | 200 | 250 | 84 | 166 | 85 | 218 |
| Total | 47 | | | | | | |



ENLARGED THIRD FLOOR PLAN - EAST

SCALE: 1/8" = 1'-0"

PROJECT: THE RESERVE AT TINLEY PARK
 NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLIN-GRANVILLE RD
 COLUMBUS OH 43231

JOB NO. 15-016
 DATE 1-11-16
 FILE A2-3-4
 PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
 Date _____

SHEET TITLE
 ENLARGED THIRD FLOOR PLAN EAST

SHEET NUMBER
A2.3.4



GLEASON ARCHITECTS, P.C.

ETERA GROUP

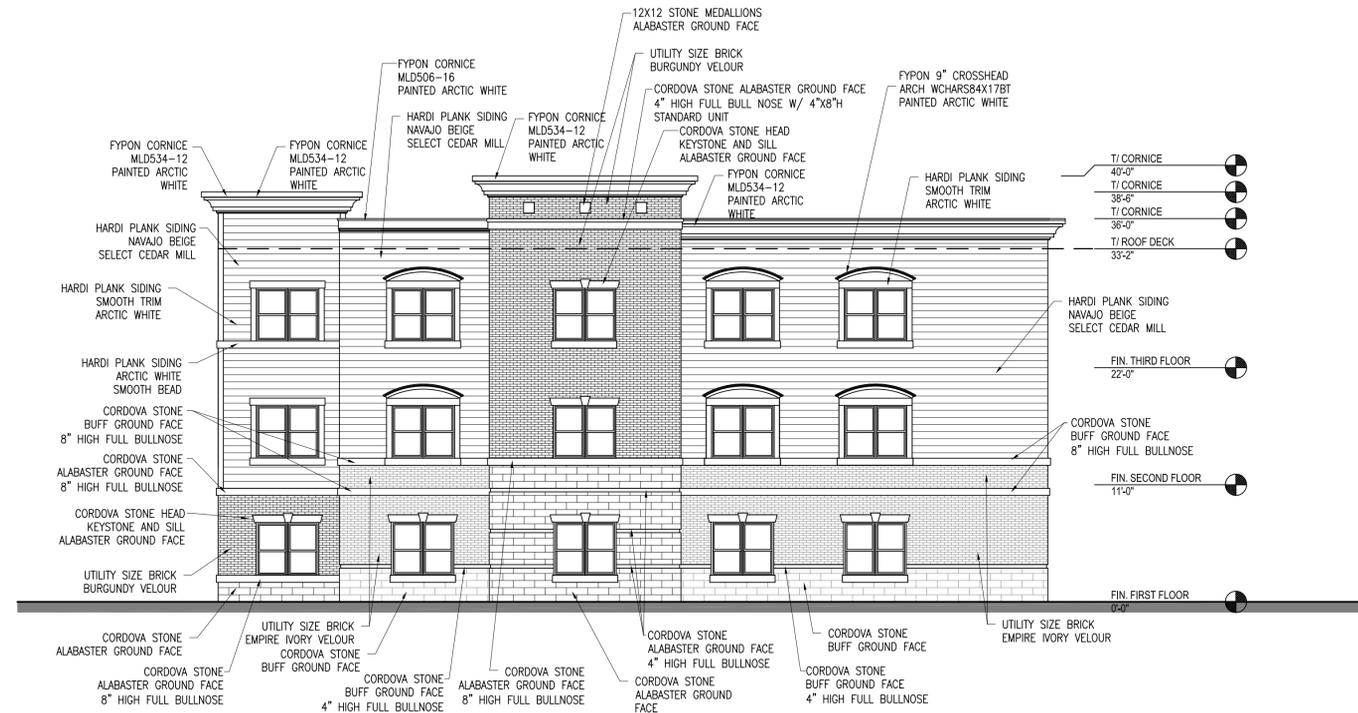
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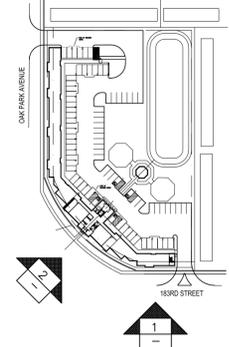


BUCKEYE COMMUNITY HOPE FOUNDATION

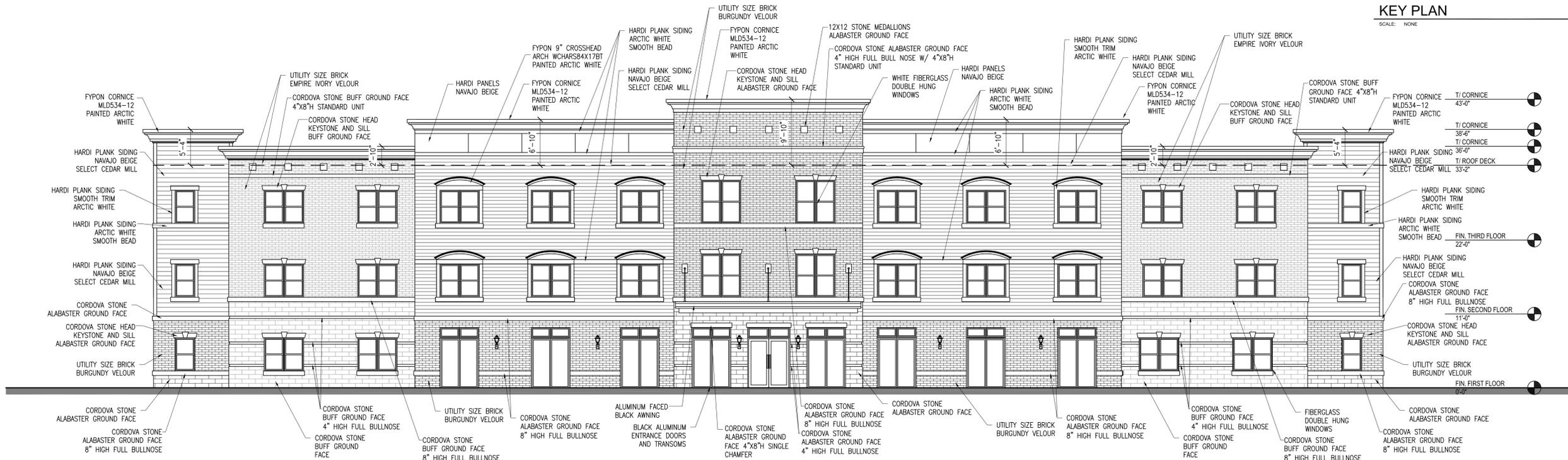
REVISIONS DATE



1 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NONE



2 SOUTHWEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



GARDEN WALL ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL
CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A4-1
PLOT SCALE 1:1

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A4.1



GLEASON ARCHITECTS, P.C.

ETERA GROUP

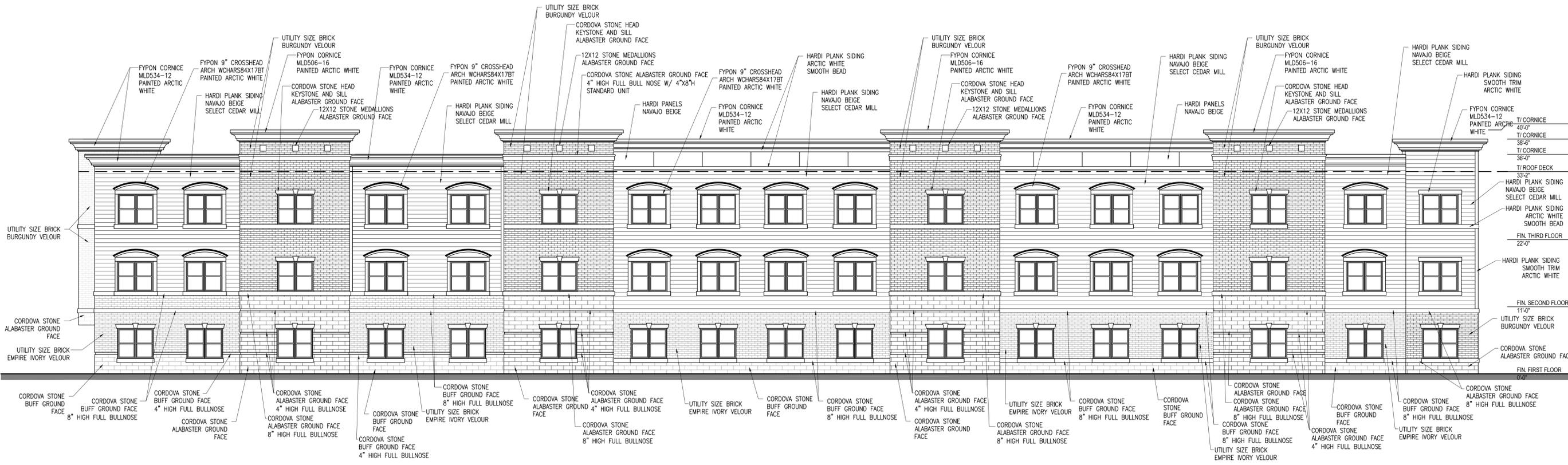
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PH: 815.748.1200 www.eteragroup.com

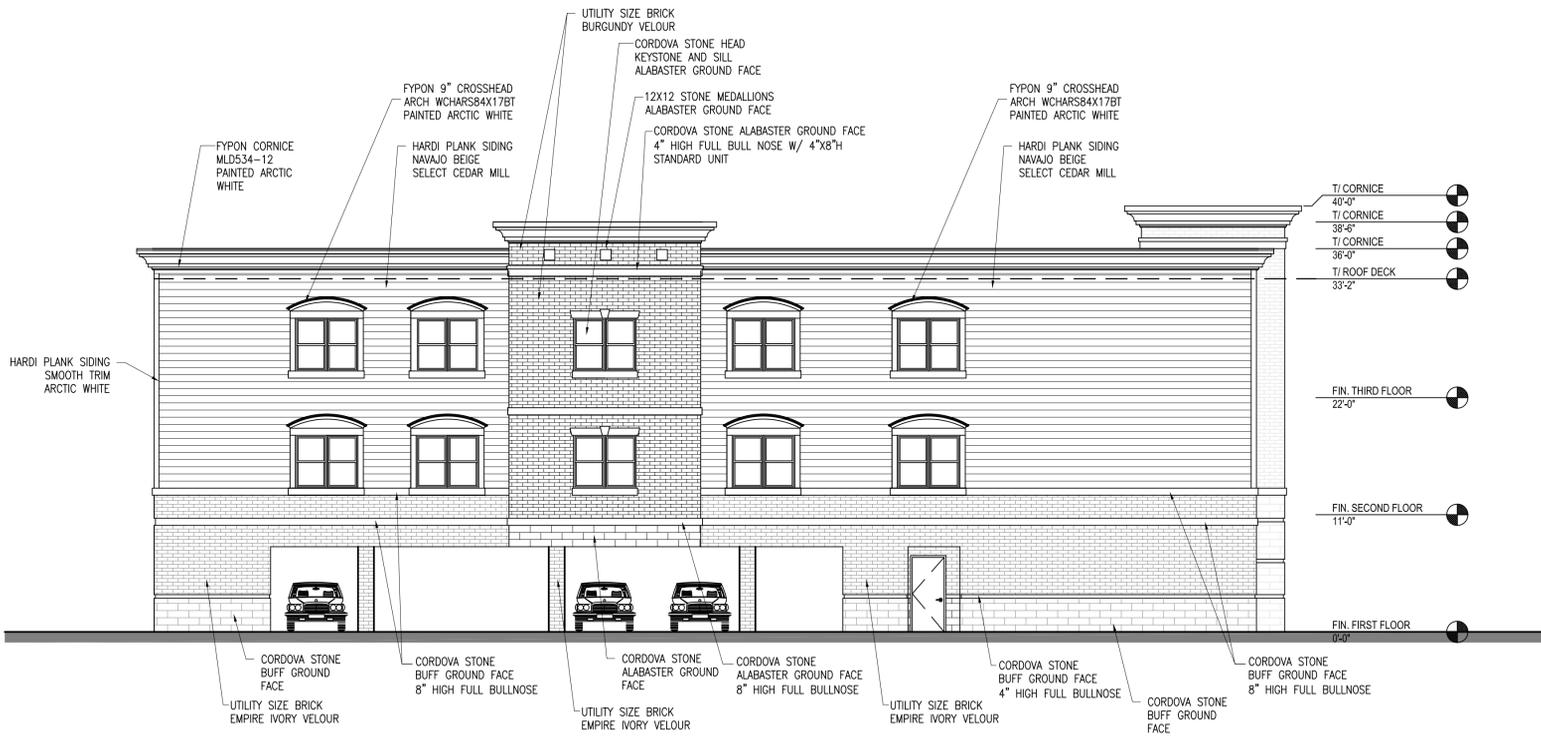
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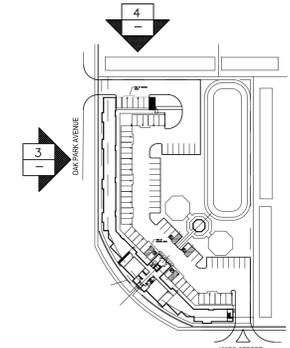
REVISIONS DATE



3 WEST EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"



4 NORTH EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"



KEY PLAN SCALE: NONE

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL
CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLING-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A4-2
PLOT SCALE 1:1

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A4.2



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ETERA GROUP

3052 West 167th Street Markham, IL 60428

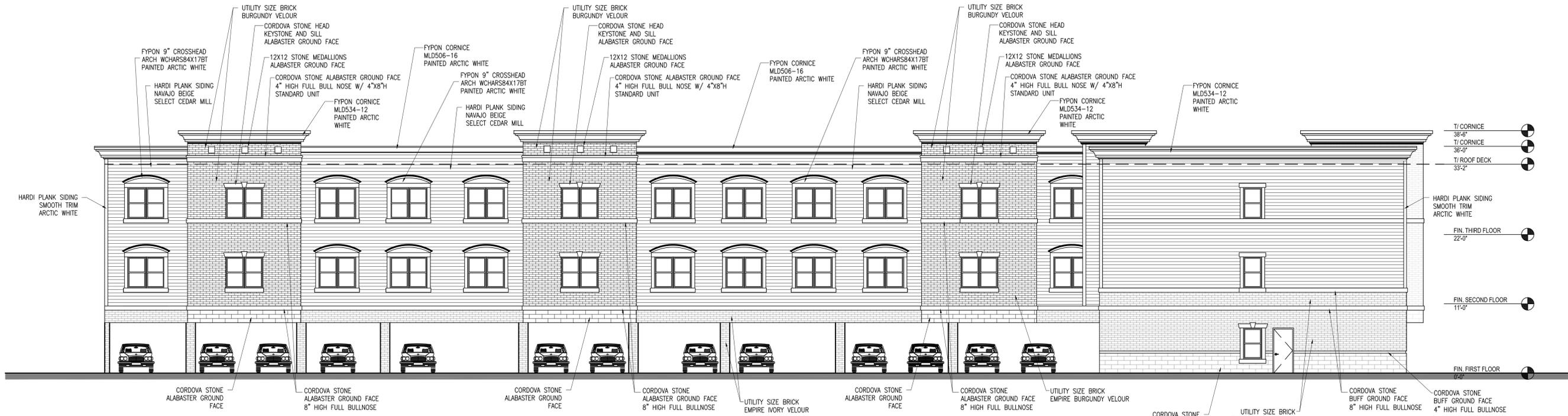
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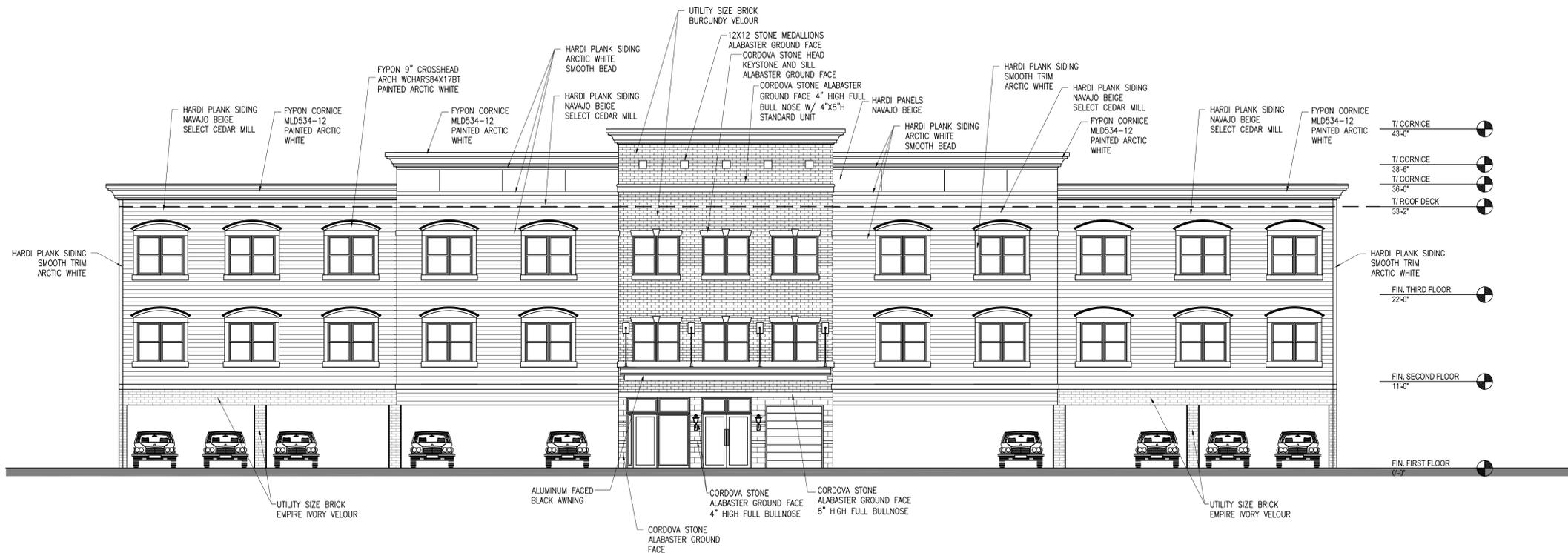
BUCKEYE COMMUNITY HOPE FOUNDATION

REVISIONS DATE



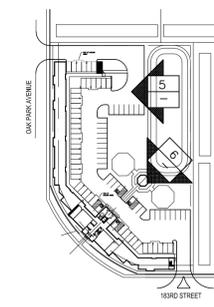
5 EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



6 NORTHEAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



KEY PLAN SCALE: NONE

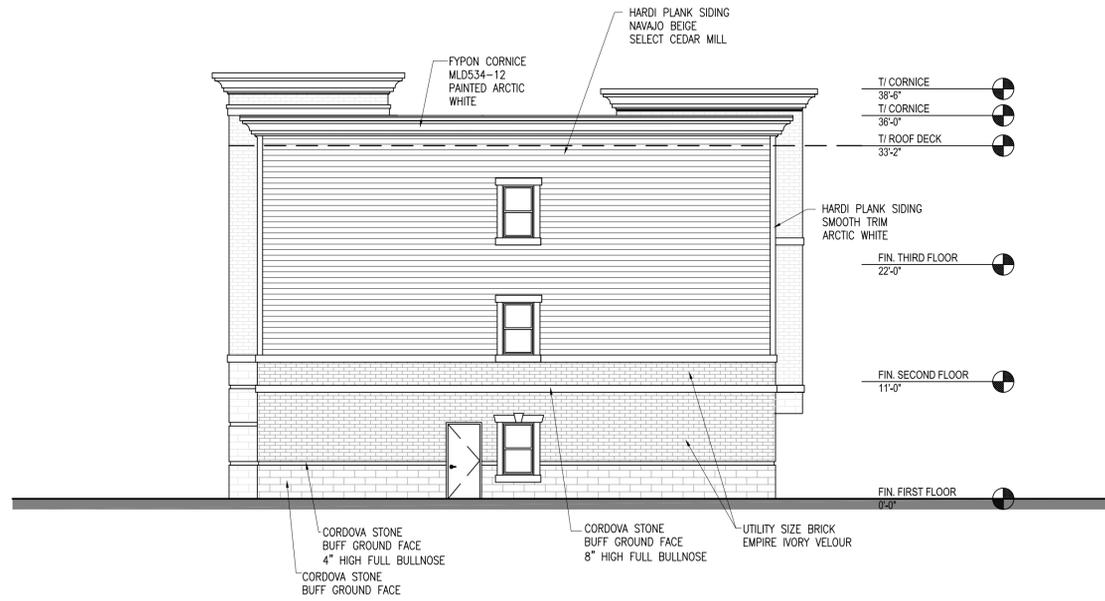
PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL
CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLING-GRANVILLE RD
COLUMBUS OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE A4-3
PLOT SCALE 1:1

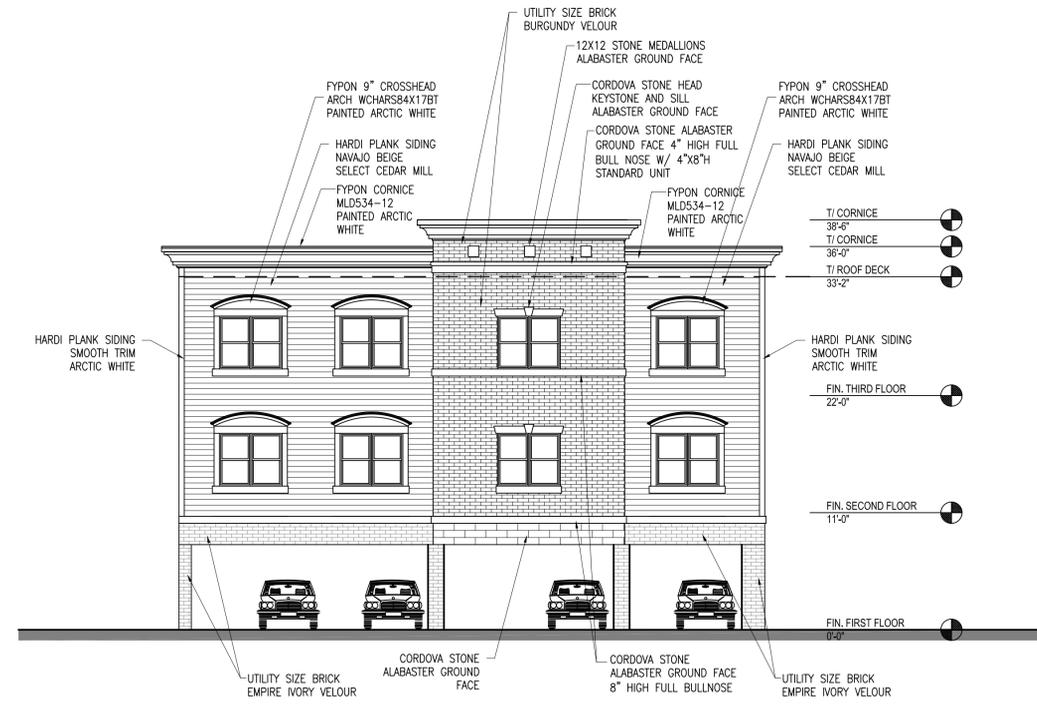
OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS

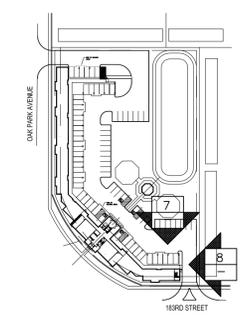
SHEET NUMBER
A4.3



8 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



7 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NONE

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLING-GRANVILLE RD
COLUMBUS OH 43231

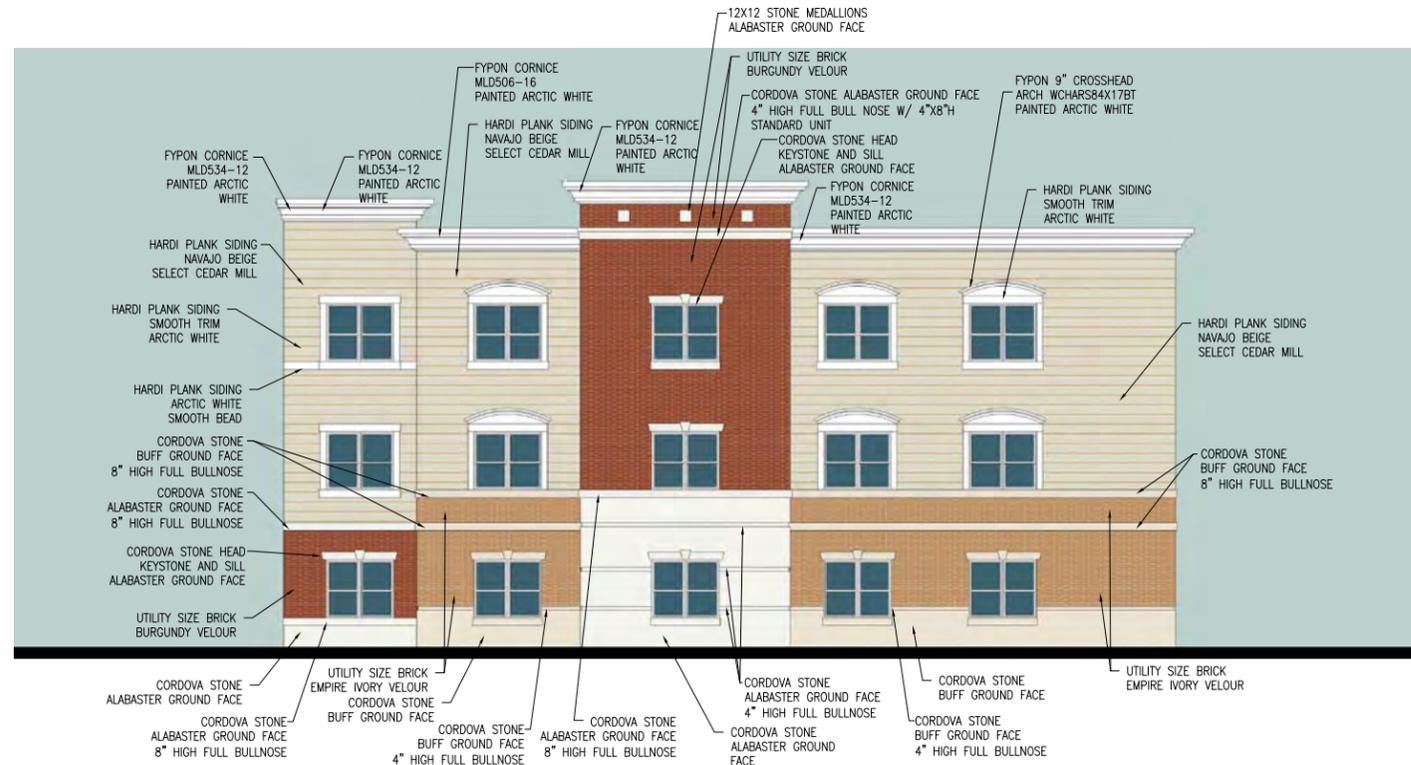
JOB NO. 15-016
DATE 1-11-16
FILE A4-4
PLOT SCALE 1:1

OWNER APPROVAL

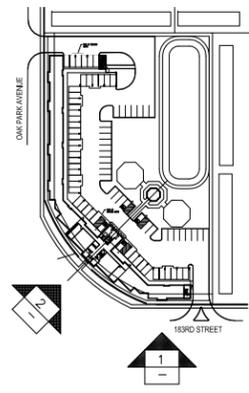
Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A4.4



1 SOUTH EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



KEY PLAN
SCALE: NONE

GLEASON ARCHITECTS, P.C.
ETERA GROUP
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| REVISIONS | DATE |
|-----------|------|
| | |



2 SOUTHWEST EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

PROJECT:
THE RESERVE AT TINLEY PARK
NEC OF OAK PARK AV AND 183RD ST
TINLEY PARK, IL

CLIENT:
BUCKEYE COMMUNITY HOPE FOUNDATION
3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE
PLOT SCALE 1:1
OWNER APPROVAL

Signature: _____
 Date: _____

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A4.1



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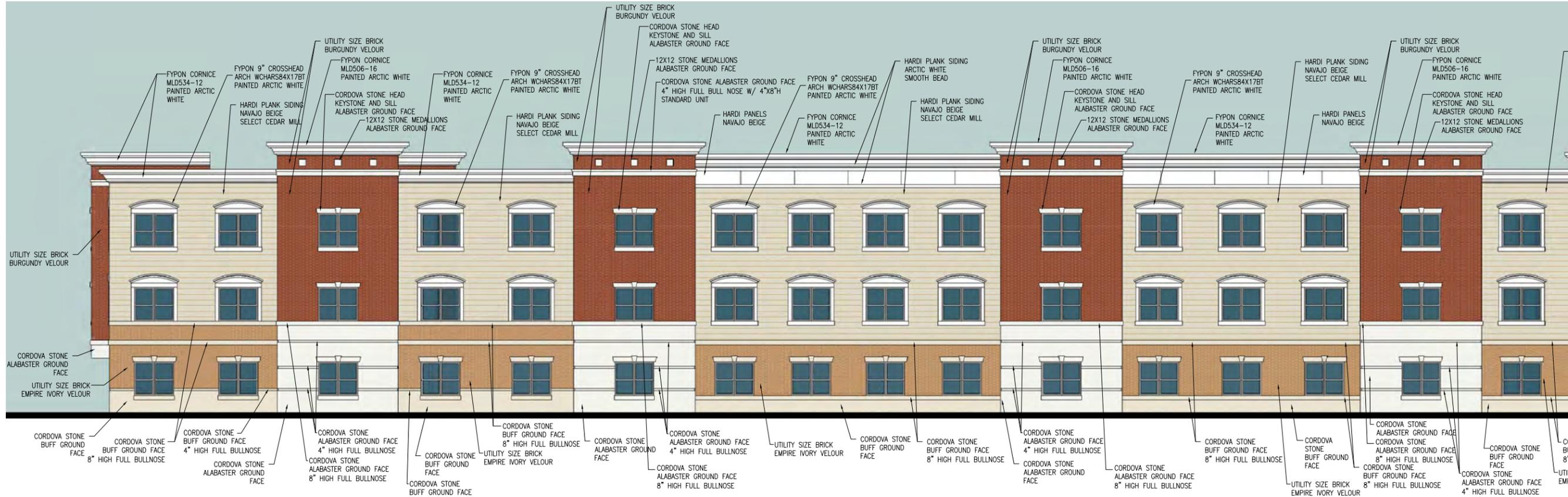
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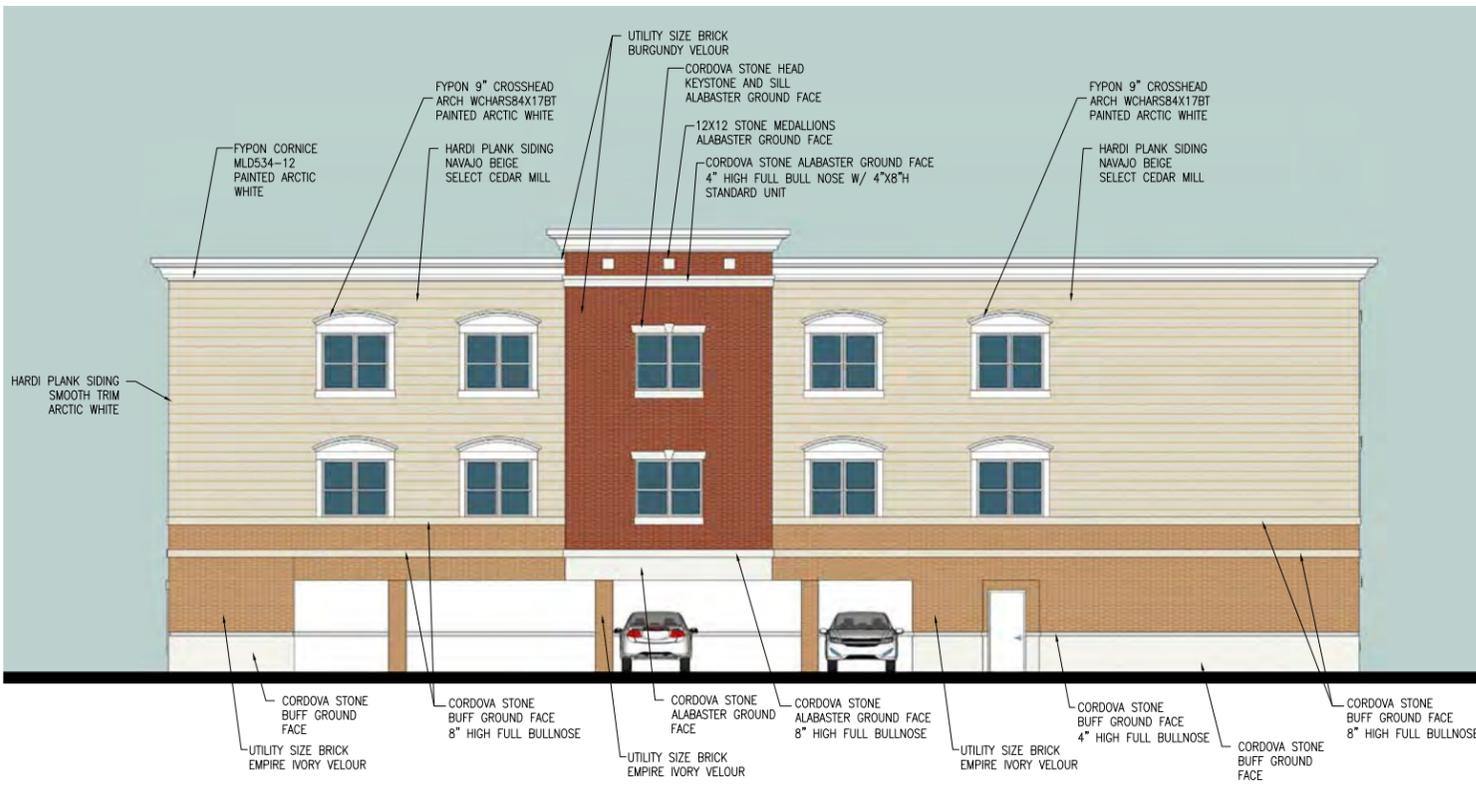
BUCKEYE COMMUNITY HOPE FOUNDATION

REVISIONS DATE



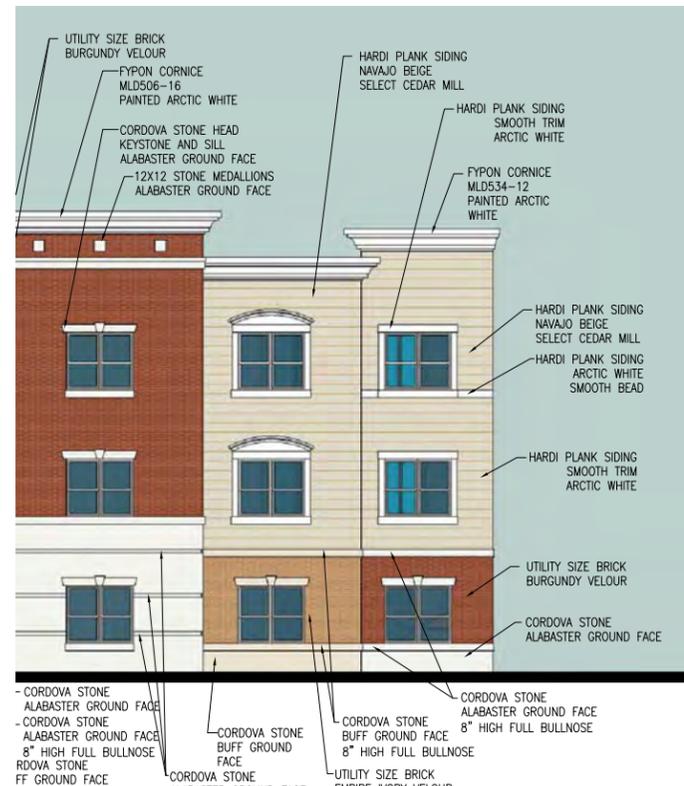
3 WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



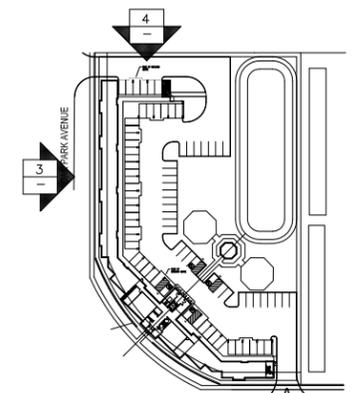
4 NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



3 WEST ELEVATION

SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NONE

PROJECT: THE RESERVE AT TINLEY PARK
NEC OF OAK PARK AV AND 183RD ST
TINLEY PARK, IL
CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 12-5-15
FILE
PLOT SCALE 1:1
OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A4.2



GLEASON ARCHITECTS, P.C.

ETERA GROUP

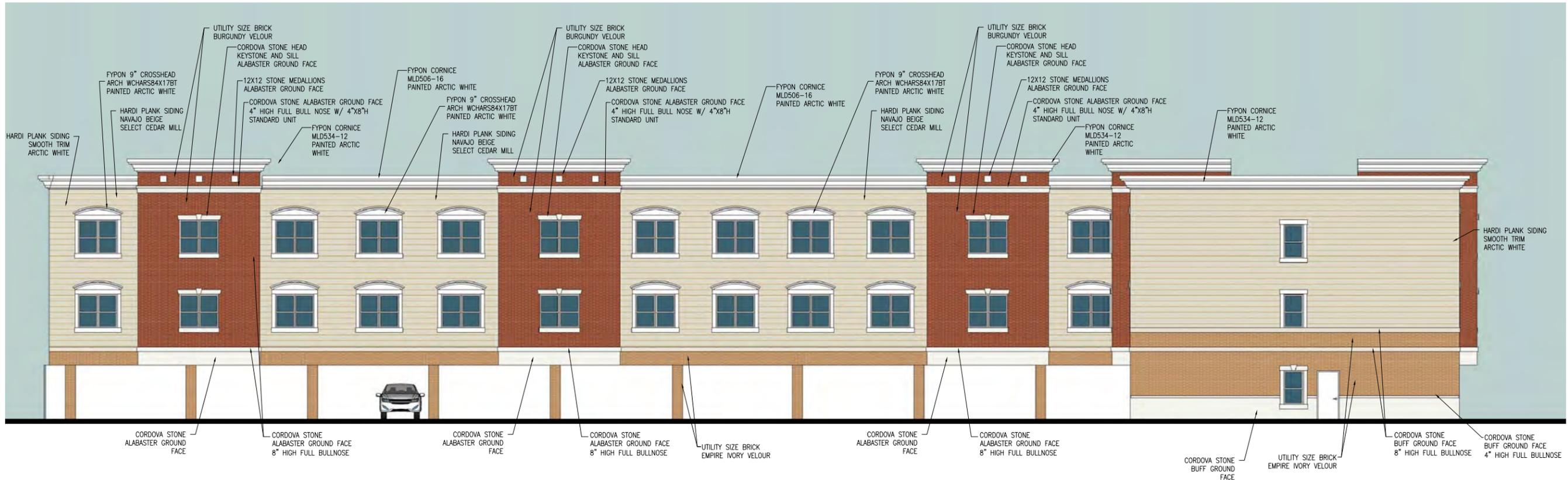
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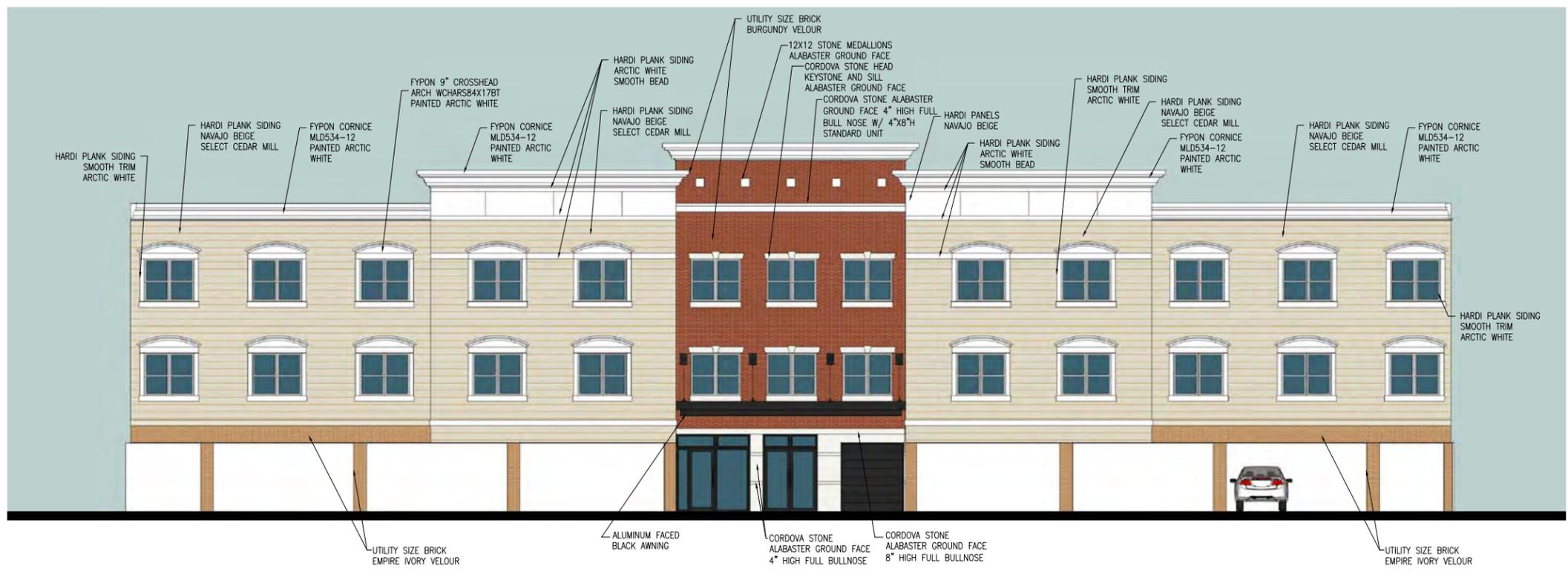


BUCKEYE COMMUNITY HOPE FOUNDATION

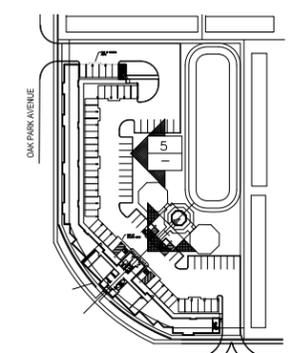
| REVISIONS | DATE |
|-----------|------|
| | |



5 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



6 NORTHEAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NONE

PROJECT: THE RESERVE AT TINLEY PARK
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TINLEY PARK, IL
CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
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COLUMBUS, OH 43231

JOB NO. 15-016
DATE 1-11-16
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PLOT SCALE 1:1
OWNER APPROVAL

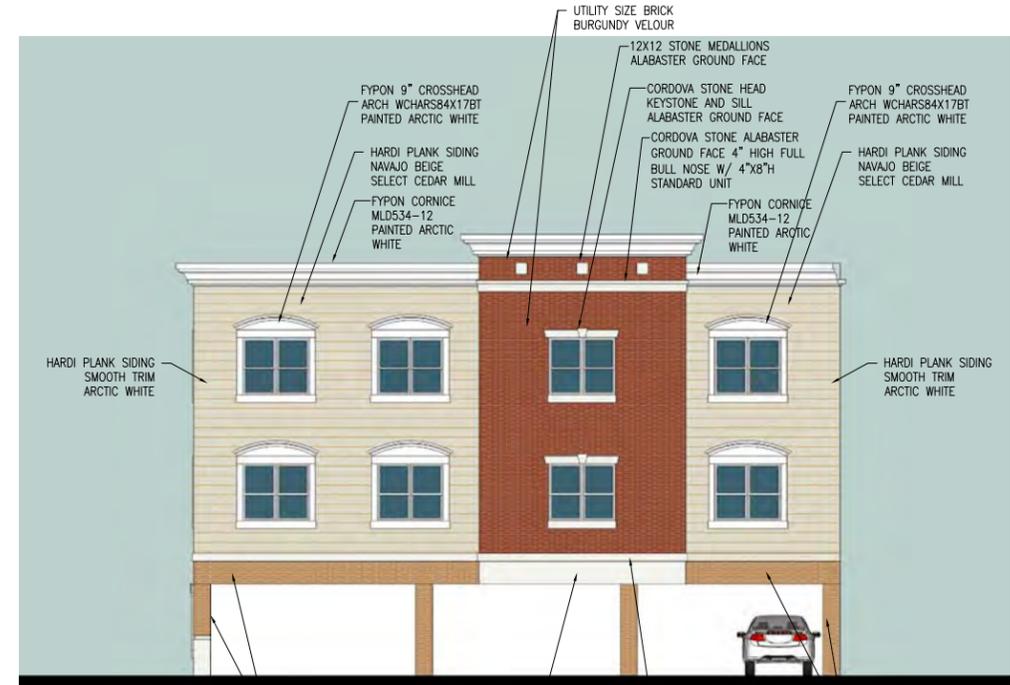
Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS

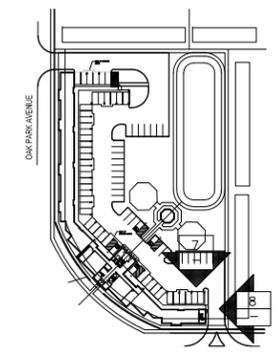
SHEET NUMBER
A4.3



8 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



7 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: NONE



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BUCKEYE COMMUNITY HOPE FOUNDATION

| REVISIONS | DATE |
|-----------|------|
| | |

PROJECT:
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JOB NO. 15-016
DATE 12-5-15
FILE
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A4.4





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| | |



PROJECT:
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CLIENT:
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3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE
PLOT SCALE 1:1
OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
PERSPECTIVE

SHEET NUMBER

A5.1

1 **SOUTHWEST PERSPECTIVE VIEW**
SCALE: NONE



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|-----------|------|
| | |



2 NORTHWEST PERSPECTIVE VIEW
SCALE: NONE

PROJECT:
THE RESERVE AT TINLEY PARK
NEC OF OAK PARK AV AND 183RD ST
TINLEY PARK, IL

CLIENT:
BUCKEYE COMMUNITY HOPE FOUNDATION
3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 12-5-15
FILE
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
PERSPECTIVE

SHEET NUMBER

A5.2



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| REVISIONS | DATE |
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| | |

PROJECT:
THE RESERVE AT TINLEY PARK
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3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 12-5-15
FILE
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____

Date _____

SHEET TITLE
PERSPECTIVE

SHEET NUMBER

A5.3



3

SOUTHEAST PERSPECTIVE VIEW

SCALE: NONE



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REVISIONS DATE



PROJECT:
THE RESERVE AT TINLEY PARK
NEC OF OAK PARK AV AND 183RD ST
TINLEY PARK, IL

CLIENT:
BUCKEYE COMMUNITY HOPE FOUNDATION
3021 E DUBLIN-GRANVILLE RD
COLUMBUS, OH 43231

JOB NO. 15-016
DATE 1-11-16
FILE
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____

Date _____

SHEET TITLE
PERSPECTIVE

SHEET NUMBER

A5.4

4

REAR PERSPECTIVE VIEW

SCALE: NONE



GLEASON ARCHITECTS, P.C.

ETERA GROUP

3052 West 167th Street Markham, IL 60428

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BUCKEYE COMMUNITY HOPE FOUNDATION

REVISIONS DATE

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLIN-GRANVILLE RD
COLUMBUS OH 43231

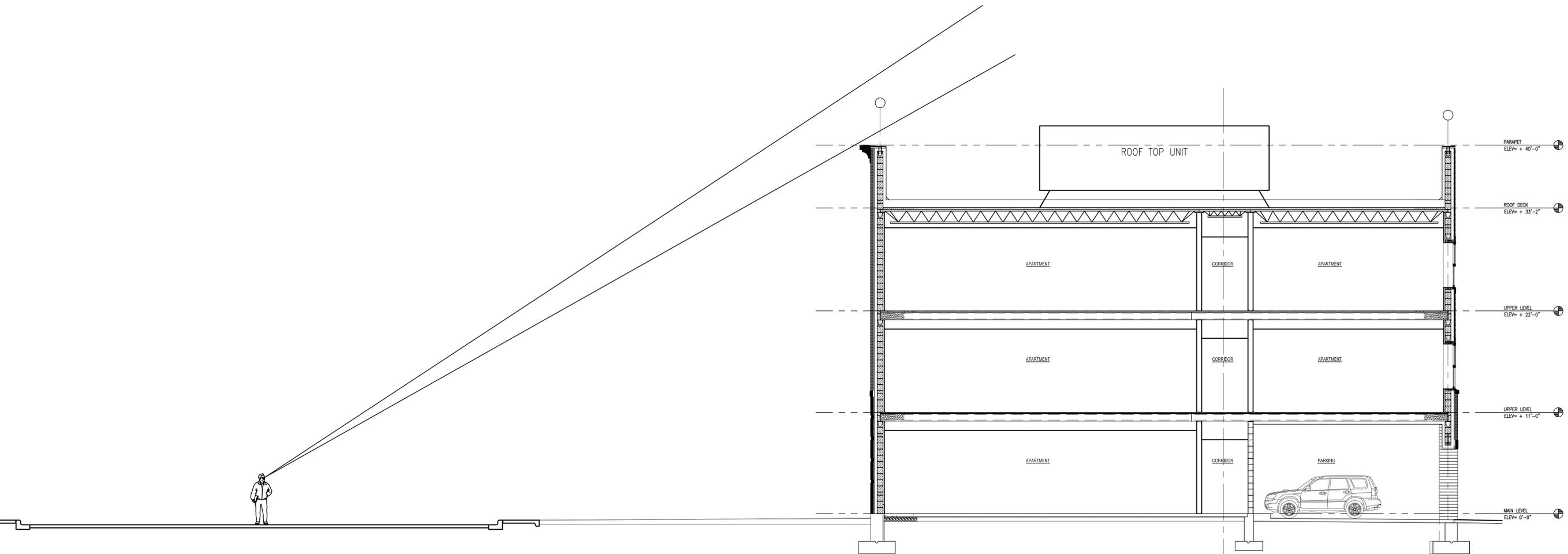
JOB NO. 15-016
DATE 1-11-16
FILE A6-1
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
BUILDING SECTION

SHEET NUMBER
A6.1



1
BUILDING SECTION
SCALE: 3/16" = 1'-0"

NOTES

| TAG | DESCRIPTION |
|-----|--|
| 1 | CONCRETE FOOTING. REFER TO STRUCTURAL DRAWINGS. BOTTOM AT -42" BELOW GRADE MIN. |
| 2 | CONCRETE FOUNDATION WALL WITH (2) # 5 BARS HORIZ. T & B |
| 3 | 1 1/2" RIGIN INSULATION |
| 4 | CONTINUOUS BASE FLASHING |
| 5 | 4" CONCRETE FLOOR SLAB OVER 10 MIL POLY VAPOR BARRIER OVER 6" COMPACTED GRANULAR FILL |
| 6 | EXTERIOR WALL CONSTRUCTION: EXTERIOR MASONRY VENEER R30 CONTINUOUS RIGID INSULATION AIR INFILTRATION BARRIER 8" CONCRETE BLOCK 1 1/2" FURRING 5/8" GYPSUM WALL BOARD |
| 7 | SUSPENDED ACOUSTICAL CEILING TILE IN METAL GRID |
| 8 | STEEL DECKING |
| 9 | FLEXICORE PRECAST FLOOR, 10" THICK. |
| 10 | R50 RIGID ROOF INSULATION |
| 11 | STEEL DECKING |
| 12 | 6" MIN. CANT STRIP |
| 13 | EPDM ROOFING |
| 14 | CONTINUOUS PARAPET CAP |
| 15 | VINYL DOUBLE HUNG WINDOW, MAX. U FACTOR = 0.32 |
| 16 | 5/8" SHEETROCK GYP. PANELS OR 5/8" SECUROCK ROOF BOARDS |
| 17 | 8" BOND BEAM |

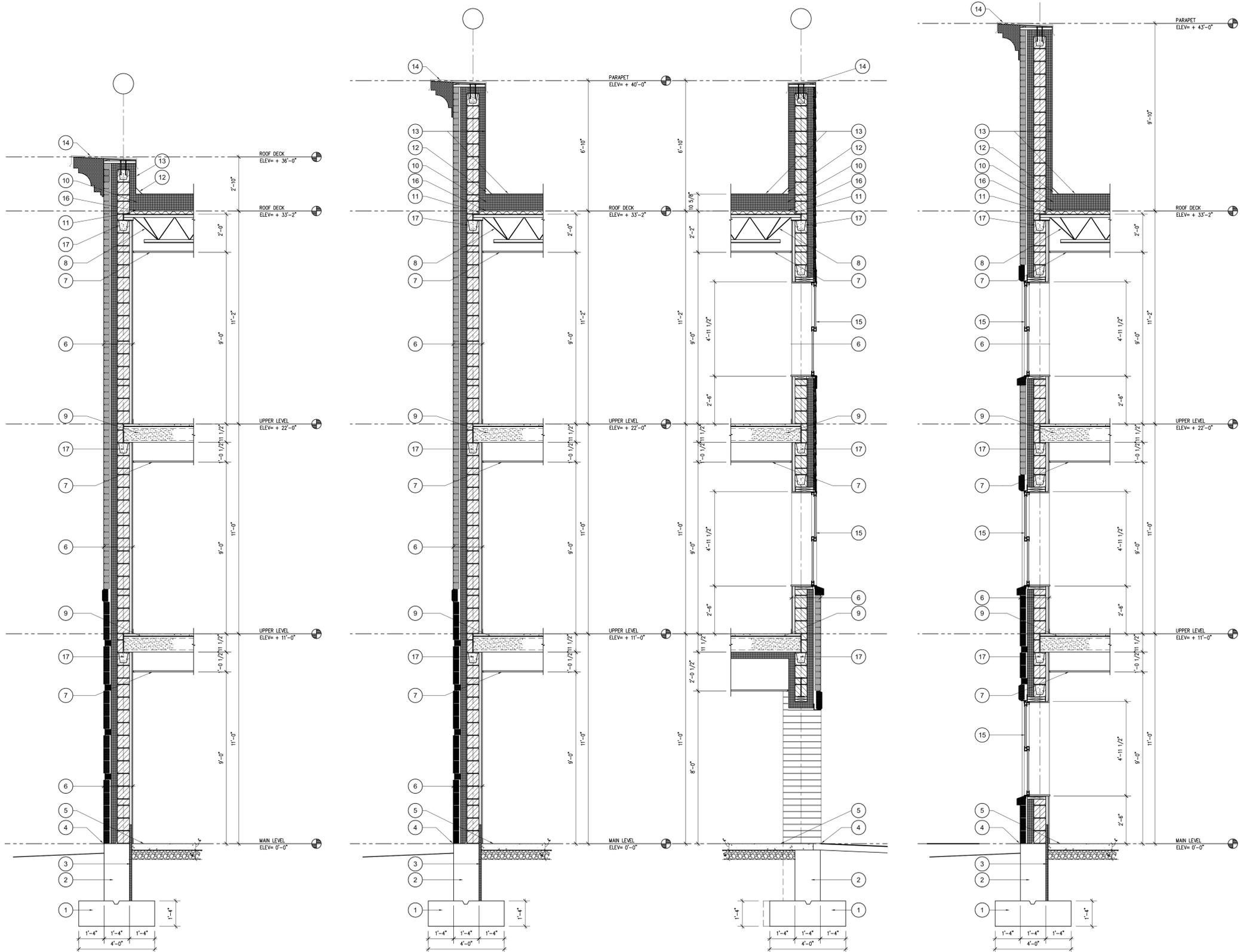


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| REVISIONS | DATE |
|-----------|------|
| | |



1
WALL SECTION
SCALE: 3/8" = 1'-0"

2
WALL SECTION
SCALE: 3/8" = 1'-0"

3
WALL SECTION
SCALE: 3/8" = 1'-0"

4
WALL SECTION
SCALE: 3/8" = 1'-0"

PROJECT: THE RESERVE AT TINLEY PARK
NORTHEAST CORNER OF OAK PARK AVENUE AND 183RD ST
TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
3021 EAST DUBLING-GRANVILLE RD
COLUMBUS OH 43231

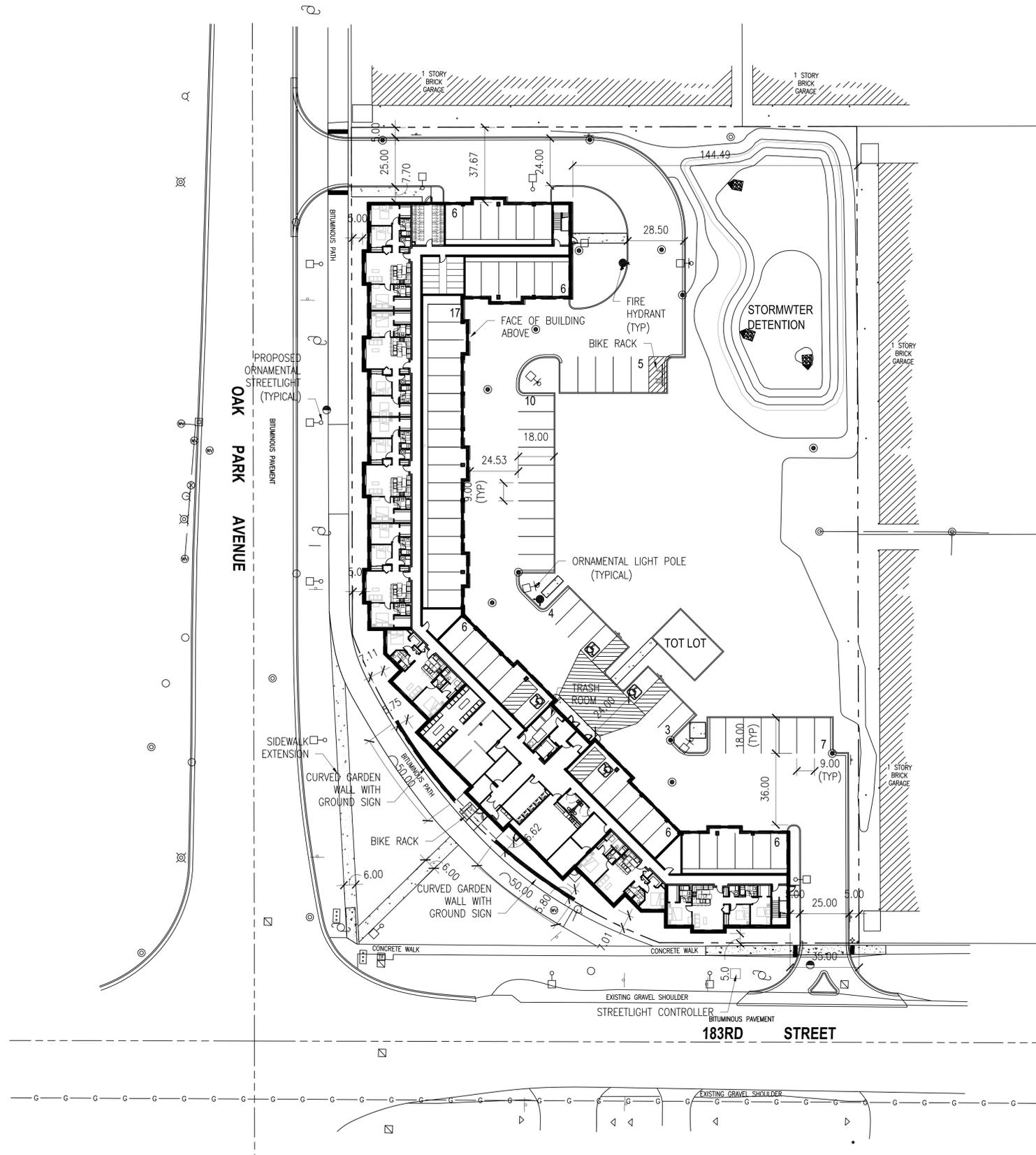
JOB NO. 15-016
DATE 1-11-16
FILE WALL SECTIONS
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
WALL SECTIONS

SHEET NUMBER
A6.2



ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'



NOTES

| SITE DATA | | | |
|---------------------------|-----------------|---------------------|---------------------------------|
| GENERAL | | | |
| Frontage: | Ft: | 583.34 | |
| Gross Site Area: | Sq. Ft: | 96789.56 | Acres: 2.22 |
| COVERAGE AND DENSITY | | | |
| Building Coverage: | 28% | | |
| Floor Area Ratio (FAR): | 0.83 | | |
| Density: | 21.2 | Units per acre | |
| Landscaped Area: | Sq. Ft: | 43109.96 | Percent of Site: 45% |
| Pavement / Building Area: | Sq. Ft: | 53079.6 | Percent of Site: 55% |
| Parking Lot Landscaping: | Sq. Ft: | 1295.92 | Percent of Parking Area: 19.10% |
| PARKING | | | |
| REQUIRED | | | |
| | Residents | Guests | Administration |
| | Units | Units | Sq Ft |
| Units or Square Footage | 47 | 47 | 257 |
| Ratio/Unit or 1000 sf: | 1 | 0.5 | 4 |
| Total Stalls Required: | 47 | 24 | 73 |
| PROVIDED | | | |
| | Covered | Outside | Total |
| Standard | 45 | 27 | 72 |
| Accessible | 2 | 2 | 4 |
| Total | 47 | 29 | 76 |
| Excess Stalls: | | | 3 |
| BUILDING DATA | | | |
| AREAS BY FLOOR | | | |
| | Residential | Circulation | Common |
| 1st floor | 8005 | | 26812 |
| 2nd floor | 21335 | | 26812 |
| 3rd floor | 21335 | | 26812 |
| Total of All Floors | 50675 | 0 | 80436 |
| % / Total Area per Unit | 63% | 0% | 0% |
| 1711 | | | |
| UNIT TYPES BY FLOOR | | | |
| | 1-Bedroom | 2-Bedroom | 3-Bedroom |
| 1st floor | 0 | 2 | 5 |
| 2nd floor | 5 | 4 | 11 |
| 3rd floor | 5 | 4 | 11 |
| Total of All Floors | 10 | 10 | 27 |
| % of Total Units | 21% | 21% | 57% |
| 47 | | | |
| RENTABLE FLOOR AREA | | | |
| Unit Type | Number of Units | Floor Area per Unit | Total Floor Area |
| 1-Bedroom Type A | 6 | 828 | 4968 |
| 1-Bedroom Type B | 4 | 898 | 3592 |
| 2-Bedroom Type A | 4 | 1033 | 4132 |
| 2-Bedroom Type B | 6 | 1060 | 6360 |
| 3-Bedroom Type A | 23 | 1234 | 28382 |
| 3-Bedroom Type B | 4 | 1248 | 4992 |
| Total | 47 | | 52426 |

| ZONING TABLE | | | |
|-------------------------------------|--|--|----------------------|
| Ref: 2011 Legacy Code | | | |
| PRINCIPAL BUILDING DESIGN STANDARDS | | | |
| Zone | Zoning District | Requirements | |
| | | Current Zoning | Proposed Project |
| Zone | Zoning Description | NF - Neighborhood Flex The Neighborhood Flex District consists of a variety of lot sizes and building scales, with buildings designed for residential or commercial uses. Street frontages have street tree plantings, and buildings are separated or attached to form a continuous street wall set close to sidewalks. | |
| Use | Permitted Uses | Owner- and renter-occupied dwelling units located within single-family detached, single-family attached, multi-family, and/or mixed-use structures, and including but not limited to senior housing. | Multi-Family Housing |
| Lot | General | Table 2.5.6 | |
| | Minimum Lot Width | ft | 20 |
| | Maximum Lot Width | ft | n/a |
| | Minimum Building Height | ft | 2 stories |
| | | ft | 256 |
| | | ft | 411.72 |
| | | ft | 3 stories |
| Building Setbacks | | | |
| Primary Frontage | Front setback, minimum | ft | 5 |
| | Front setback, maximum | ft | 15 |
| | Secondary street setback, minimum | ft | 5 |
| | Secondary street setback, maximum | ft | 15 |
| Side Setback | Interior Side Setback, maximum | ft | 5 |
| | Access Drive Side Setback, minimum | ft | 5 |
| Rear Setback | Rear alley setback, minimum | ft | 5 |
| | No alley setback, minimum | ft | 5 |
| | Future alley setback, minimum | ft | 30 |
| Parking Setbacks | | | |
| Primary Frontage | Front setback, minimum | ft | 25 |
| | Front setback, maximum | ft | n/a |
| | Secondary street setback, minimum | ft | 10 |
| | Secondary street setback, maximum | ft | n/a |
| Side Setback | Interior Side Setback, maximum | ft | 0 |
| | Access Drive Side Setback, minimum | ft | 5 |
| Rear Setback | Rear alley setback, minimum | ft | 5 |
| | No alley setback, minimum | ft | 5 |
| | Future alley setback, minimum | ft | 30 |
| Alley & Access Road Setbacks | | | |
| | Alley Rear Yard Setback, minimum | ft | 5 |
| | Alley Location | | n/a |
| | Access Road Location | | As per page 61 |
| | Permitted location of accessory structures | | Parking zone |
| | | | n/a |



REVISIONS DATE

PROJECT: THE RESERVE AT TINLEY PARK
 NORTH-EAST CORNER OF OAK PARK AVENUE AND 183RD ST
 TINLEY PARK, IL

CLIENT: BUCKEYE COMMUNITY HOPE FOUNDATION
 3021 EAST DUBLING-GRANVILLE RD
 COLUMBUS OH 43231

JOB NO. 15-016
 DATE 1-27-16
 FILE AS1-Architectural Site Plan
 PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
 Date _____

SHEET TITLE
 ARCHITECTURAL
 SITE PLAN

SHEET NUMBER
AS1