

**FINDINGS OF FACT**  
**SPECIAL USE PERMIT – (Including Planned Developments)**  
**PURSUANT TO THE VILLAGE OF TINLEY PARK ZONING ORDINANCE**

Section X.J. of the Village of Tinley Park Zoning Ordinance requires that no Special Use be recommended by the Plan Commission unless the Commission finds that all of the following statements, A-G listed below, are true and supported by facts. Petitioners must respond to and confirm each and every one of the following findings by providing the facts supporting such findings. The statements made on this sheet will be made part of the official public record and will be discussed in detail during the Plan Commission meetings and will be provided to any interested party requesting a copy.

Please provide factual evidence that the proposed Special Use meets the statements below and use as much space as needed to provide evidence.

- A. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.**

Our facility will be harmonious and appropriate with the surrounding area, be adequately served by essential services, not create additional pressure on public services, not cause traffic congestion, and not be detrimental to the general welfare.

- B. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

The site is designed to be harmonious with the surrounding area. The Tower is already existing and the increase in height to accommodate an additional wireless carrier will prevent the need for an additional tower in the immediate area.

- C. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

The tower and facility are already existing the expansion of the ground compound and tower height will not impede any future development or improvement of surrounding properties.

- D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.**

The site is not occupied, does not require water, sanitary or waste removal services. The existing utilities and access roads and drainage are sufficient for the proposed expansion.

- E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

The site is unmanned and will be visited only a few times per month for routine maintenance, it will not materially affect traffic near the site.

- F. That the Special Use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

The telecommunications facility is already existing. The proposed expansion is to accommodate an additional wireless carrier to prevent the need for another tower within the immediate vicinity and conforms to the applicable regulations of the district.

- G. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.**

Verizon Wireless operates one of the broadest coverage in the wireless industry, providing modern voice and data transmission capabilities, including photo, internet, email and text each from a single point-source device. The proposed special use contributes indirectly to the economic development of the community by improving the wireless coverage network for residents, commuters and businesses in the area.

**CONSULTANT TEAM**

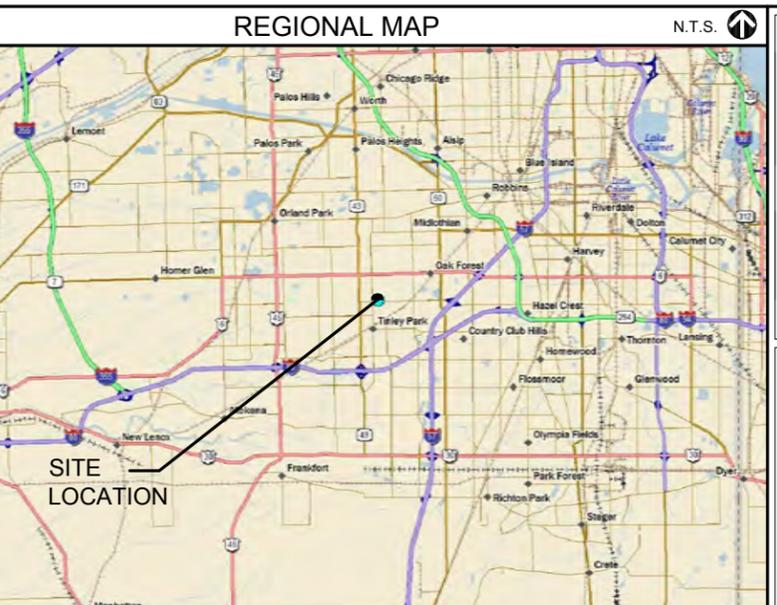
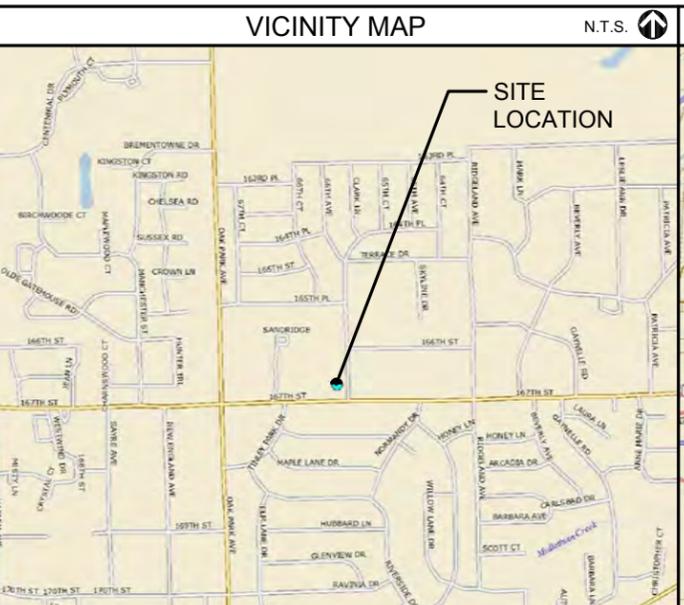
PROJECT CONSULTANT: TERRA CONSULTING GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
(847) 698-6400

SURVEYOR: ASM CONSULTANTS, INC.  
P.O. BOX 7  
PLANO, IL 60545  
(630) 273-2500

**PROJECT TYPE:**  
PROPOSED LESSEE ANTENNAS TO BE MOUNTED ON EXISTING MONOPOLE TOWER WITH PROPOSED 11'-6" x 23'-4 1/2" EQUIPMENT ENCLOSURE AT BASE.

**SITE COORDINATES:**  
LATITUDE: 41° 35' 18.26" N (FROM SURVEY)  
LONGITUDE: 87° 46' 49.25" W (FROM SURVEY)  
ELEVATION: ±712' (FROM SURVEY)

**DRIVING DIRECTIONS:**  
FROM LESSEE OFFICE: HEAD EAST ON E WOODFIELD RD TOWARD MALL DR. TURN RIGHT ONTO W FRONTAGE RD. TAKE THE I-290 E RAMP TO CHICAGO. MERGE ONTO I-290 E. TAKE EXIT 15A FOR I-294 SOUTH TOLLWAY TOWARD INDIANA. MERGE ONTO I-294 S. TAKE THE EXIT ONTO I-55 N. TAKE EXIT 279A TO MERGE ONTO US-45 S/S LAGRANGE RD AND CONTINUE TO FOLLOW US-45 S/S LAGRANGE R. TURN LEFT ONTO 167TH ST. DESTINATION WILL BE ON THE LEFT.



**APPROVALS**

REAL ESTATE: \_\_\_\_\_

RF: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

OPERATIONS: \_\_\_\_\_

EQUIPMENT ENGINEERING: \_\_\_\_\_

**EQUIPMENT ENCLOSURE:**

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



# CHICAGO SMSA

limited partnership

CHICAGO SMSA LIMITED PARTNERSHIP  
d/b/a VERIZON WIRELESS  
1515 WOODFIELD ROAD, SUITE 1400  
SCHAUMBURG, ILLINOIS 60173  
PHONE: (847) 619-5397 FAX: (847) 706-7415

**LOCATION NUMBER: 278659**  
**SITE NAME: N. TINLEY**  
**SBA SITE NUMBER: IL46494-A**  
**SBA SITE NAME: N. TINLEY**  
**6640 W. 167TH ST**  
**TINLEY PARK, IL 60477**



NOTE:  
ALL ELECTRICAL SHALL BE IN COMPLIANCE WITH 2005 NATIONAL ELECTRIC CODE AND TINLEY PARK AMENDED CODES.

**PROJECT INFORMATION**

P.I.N. #:	28-19-401-014-0000
ADDRESS:	6640 167TH ST TINLEY PARK, IL 60477
UTILITIES: POWER: COMED	FIBER PROVIDER: AT&T
JURISDICTION: VILLAGE OF TINLEY	JIM DELLAMANO (815) 727 8017
OCCUPANCY: UNINHABITED	
ZONING: R-1	
CONSTRUCTION TYPE: CO LO	
TOWER OWNER: SBA STEEL, LLC 5900 BROKEN SOUND PKWY BOCA RATON, FL	
CONTACT PERSON: KENT MEIER (414) 788-1133	
APPLICANT: VERIZON WIRELESS PERSONAL COMMUNICATIONS LP d/b/a VERIZON WIRELESS 1515 WOODFIELD ROAD, SUITE 1400 SCHAUMBURG, IL 60173 (920) 841-1263	
CONSTRUCTION MANAGER: MIKE EISENMENGER (847) 732-6053	
REAL ESTATE MANAGER: DANNY PEREZ (847) 706-1765	

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1 OF 2	SITE SURVEY	-
2 OF 2	SITE SURVEY	-
-	-	-

**REVISIONS**

NO	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
2	ISSUED FOR REVIEW	11/05/14	JJR
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6	UPDATE PER FIBER COORDINATION	02/20/15	MT
7	UPDATE PER COMMENTS	03/09/15	JJR

**LOC. 278659**  
**SBA #IL46494-A**

**N. TINLEY**

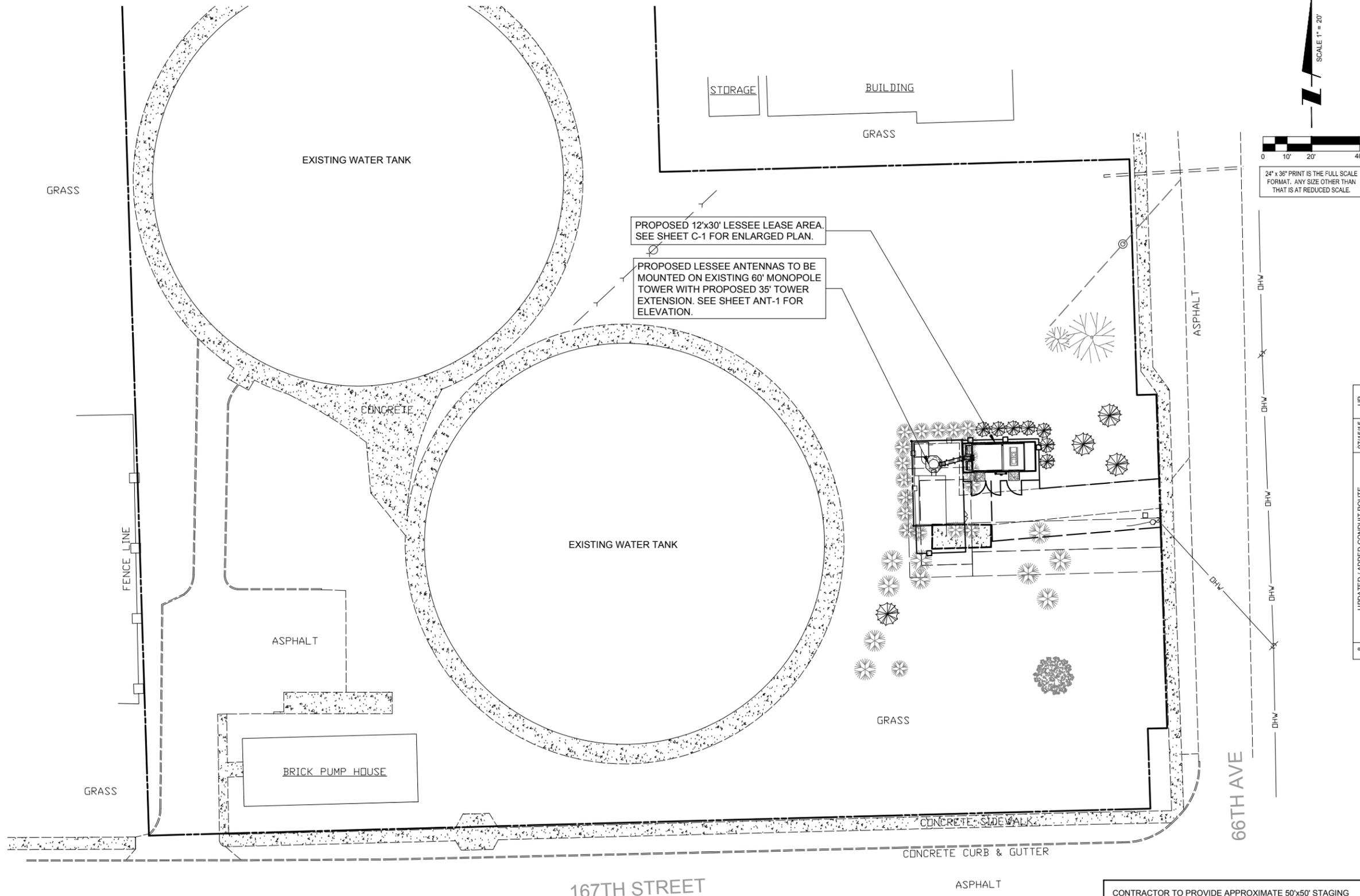
6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY: BTE  
CHECKED BY: TAZ  
DATE: 09/05/14  
PROJECT #: 76-029

SHEET TITLE  
TITLE SHEET

SHEET NUMBER  
**T-1**





**CHICAGO SMSA**  
 limited partnership  
 d/b/a VERIZON WIRELESS



REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REVIEW
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4	ISSUED FOR PERMITTING
5	UPDATE TOWER HEIGHT / ANTENNAS
6	UPDATE PER FIBER COORDINATION
7	UPDATE PER COMMENTS
8	UPDATE / ADDED CONDUIT ROUTE
9	REVISED COAX ROUTE

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SHEET TITLE  
 LOCATION PLAN

SHEET NUMBER  
**LP**



SURVEY PERFORMED BY:  
**Advanced Surveying & Mapping**

Telephone (630) 273-2500  
 Fax (630) 273-2600  
 E-MAIL asmc@advct.com

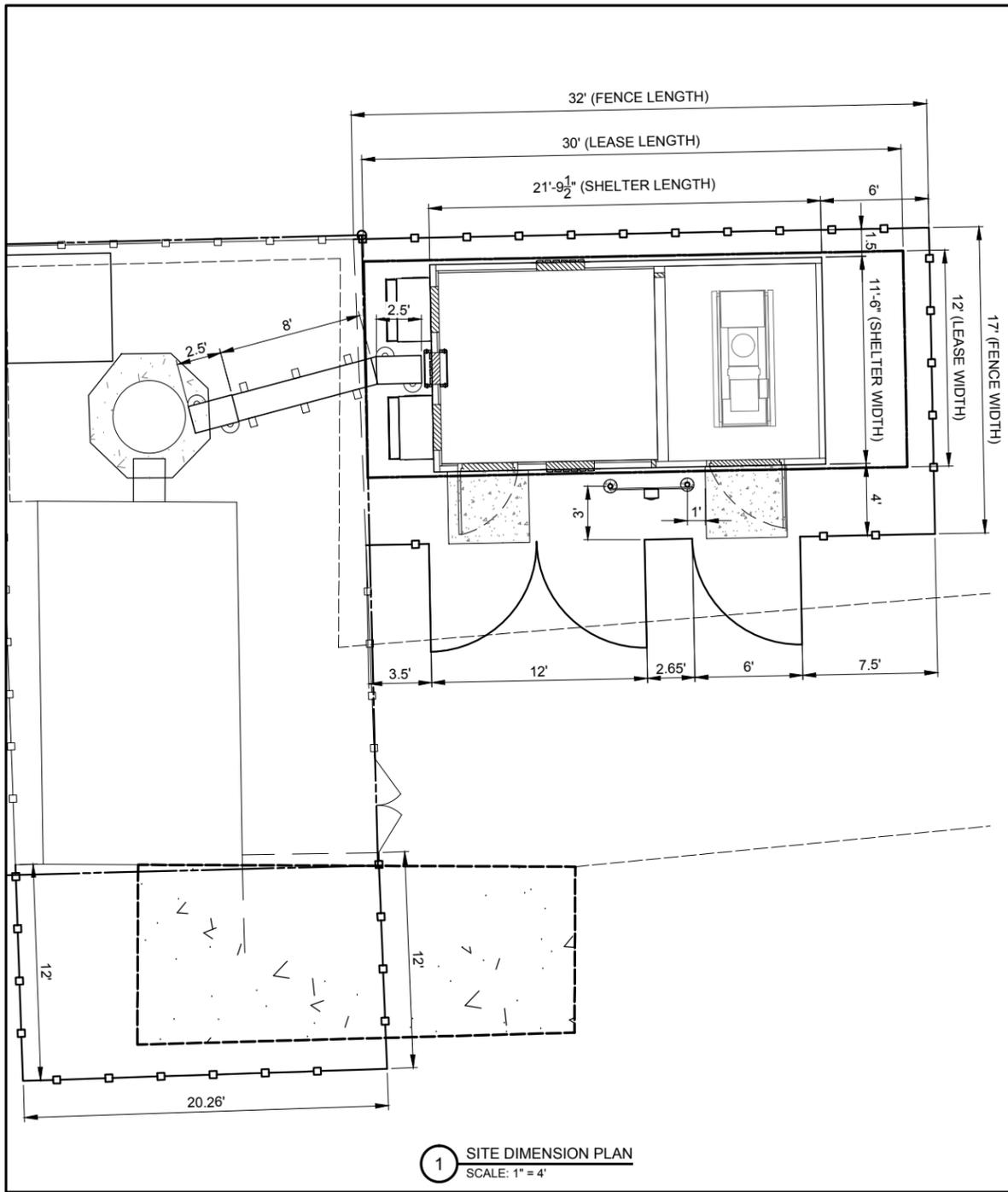
**1** LOCATION PLAN  
 SCALE: 1" = 20'

CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING PAVEMENT. CONTRACTOR SHALL PHOTOGRAPH AND VIDEOTAPE EXISTING PAVEMENT PRIOR TO CONSTRUCTION. ANY DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPLACED TO EXISTING OR BETTER CONDITION AT NO ADDITIONAL COST.

THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLANS AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING, AS REQUIRED ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.

CONTRACTOR TO PROVIDE APPROXIMATE 50'x50' STAGING AREA AND TEMPORARY ROAD. CONTRACTOR SHALL COORDINATE WITH ANTENNA CONTRACTOR, A STAGING AREA AND TEMPORARY ROAD THAT IS ACCEPTABLE TO THE OWNER. STAGING AREA AND TEMPORARY ROAD SHALL BE RESTORED TO EXISTING CONDITIONS AS NECESSARY UPON COMPLETION OF THE PROJECT.

BEFORE AND DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL AS NECESSARY IN THE FORM OF SILT FENCES FOR THE SITE AND BALES AROUND ANY EXISTING MANHOLES, INLETS, OR CATCHBASINS SUSCEPTIBLE TO EROSION. EROSION CONTROL MEASURES SHALL BE PERIODICALLY INSPECTED TO ENSURE PROPER FUNCTION. EROSION CONTROL SHALL BE REMOVED UPON COMPLETION OF WORK.



1 SITE DIMENSION PLAN  
SCALE: 1" = 4'

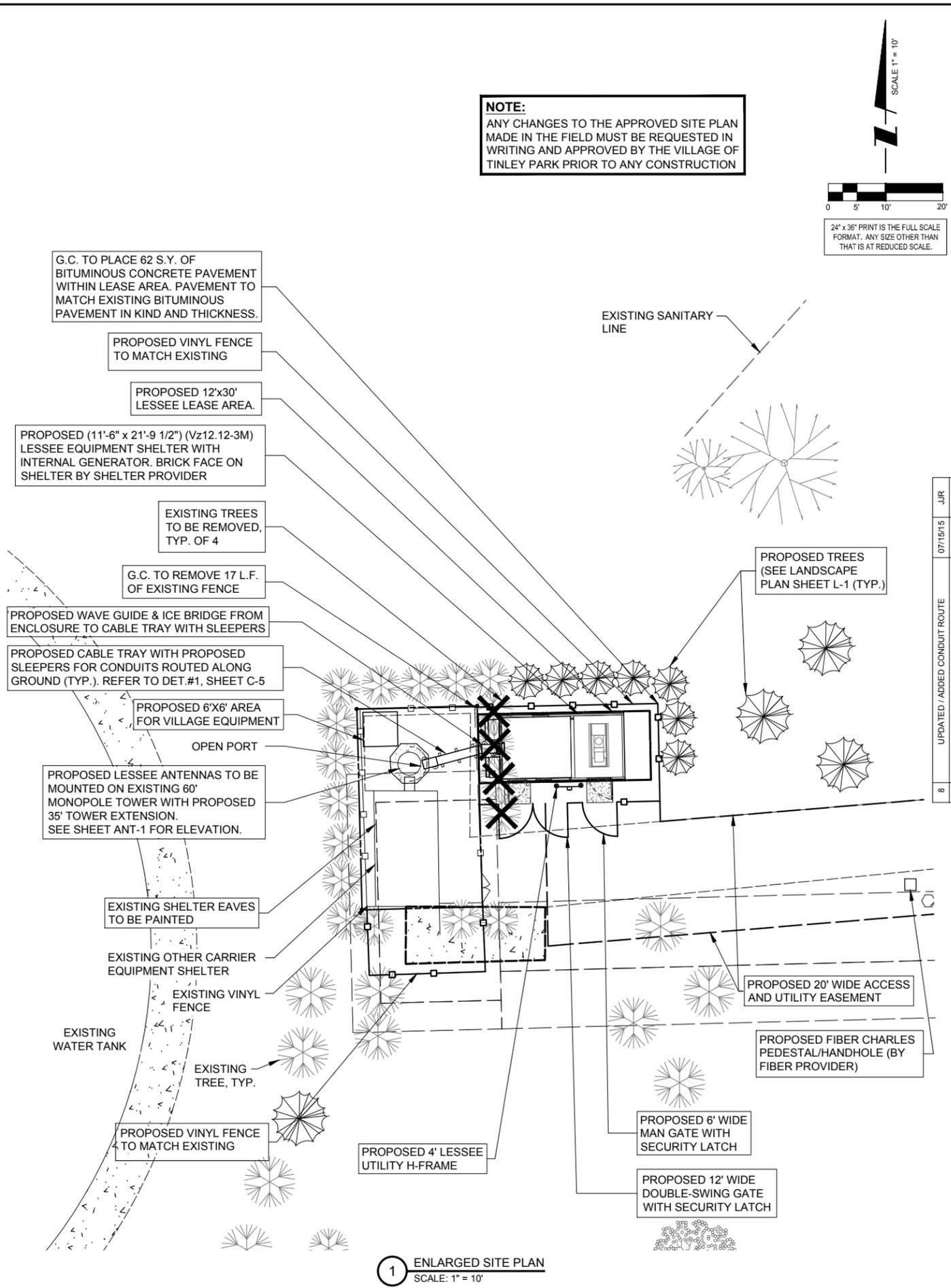
OPERATES 24 HOURS  
A DAY 365 DAYS A YEAR



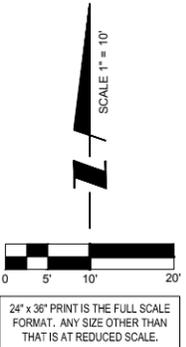
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Telephone (630) 273-2500  
Fax (630) 273-2600  
E-MAIL [asmc@advct.com](mailto:asmc@advct.com)



**NOTE:**  
ANY CHANGES TO THE APPROVED SITE PLAN MADE IN THE FIELD MUST BE REQUESTED IN WRITING AND APPROVED BY THE VILLAGE OF TINLEY PARK PRIOR TO ANY CONSTRUCTION



24" x 36" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

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	UPDATE PER COMMENTS	03/09/15	JJR

REVISIONS	
NO.	DESCRIPTION
8	UPDATED / ADDED CONDUIT ROUTE
7	REVISED COAX ROUTE

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SHEET TITLE  
ENLARGED  
SITE PLAN

SHEET NUMBER

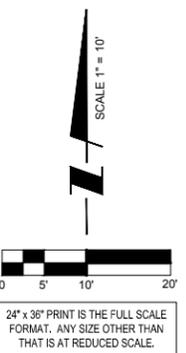
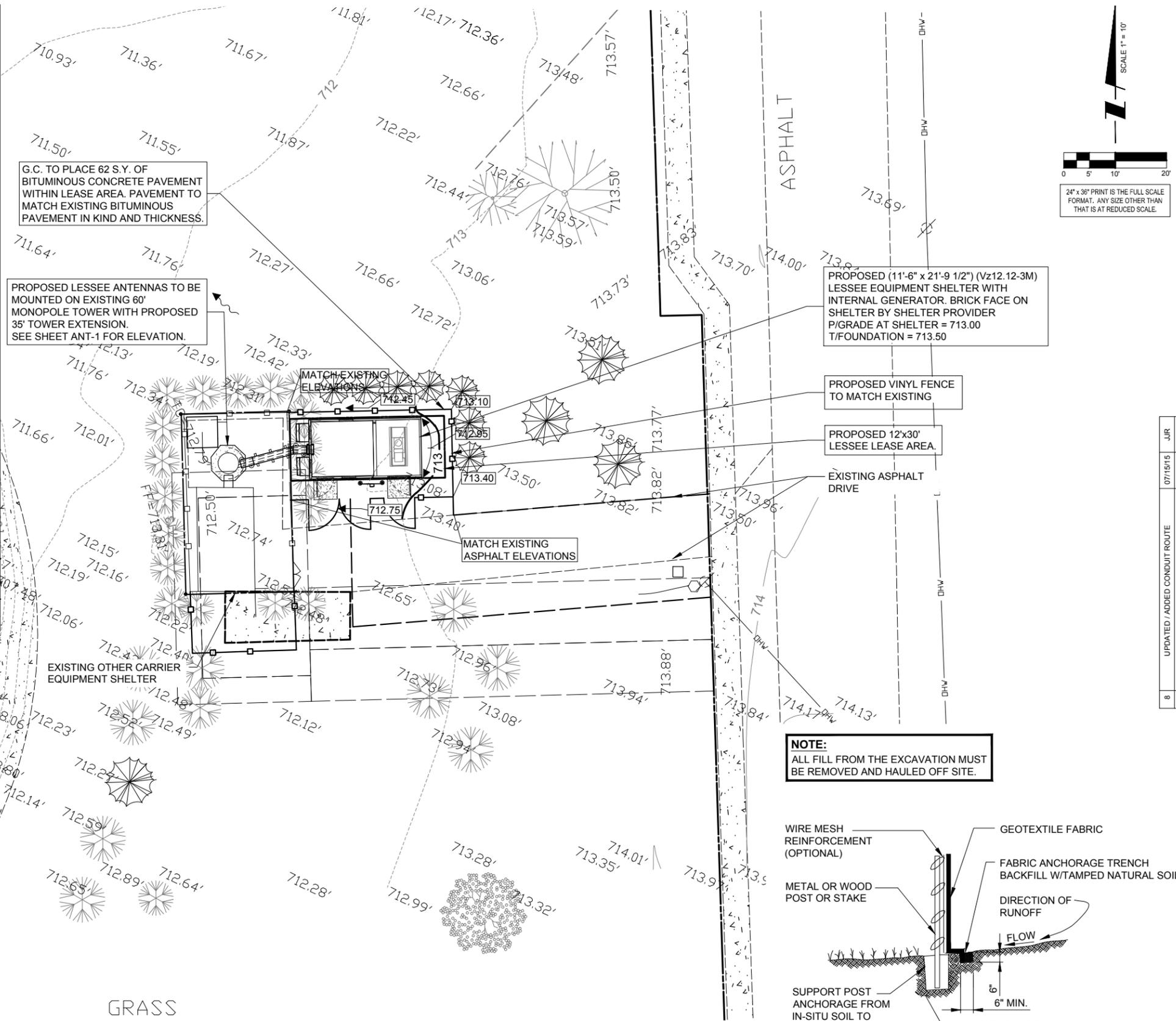
**C-1**

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

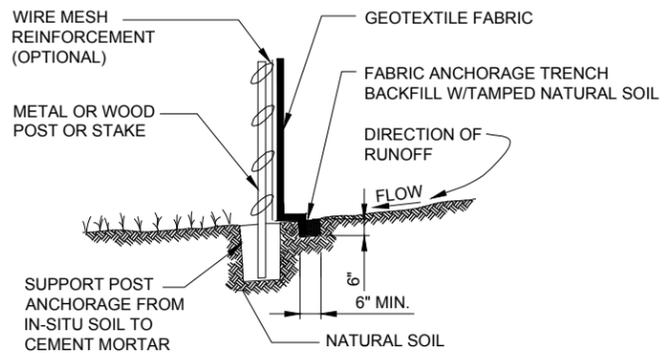


**EROSION CONTROL NOTES:**

1. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER TO MINIMIZE EROSION. AREAS OF THE DEVELOPMENT SITE THAT ARE NOT GRADED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL SEEDING IS PERFORMED.
2. PROPERTIES AND CHANNELS ADJOINING THE DEVELOPMENT SITE SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.
3. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
4. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE.
5. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE. (E.G., SEDIMENT TRAP, SEDIMENT BASIN, OR OTHER APPROPRIATE MEASURES).
6. ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
7. SOIL STOCKPILES SHALL NOT BE LOCATED IN A FLOOD-PRONE AREA OR DESIGNATED BUFFER OF SURFACE WATERS.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE RECEPTACLES FOR THE DEPOSITION OF ALL CONSTRUCTION MATERIAL DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE DUMPING, DEPOSITING, DROPPING, THROWING, DISCARDING OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR ONTO ANY DEVELOPMENT SITE, CHANNEL, OR SURFACE WATERS. THE CONTRACTOR SHALL MAINTAIN THE DEVELOPMENT SITE FREE OF CONSTRUCTION MATERIAL DEBRIS.
9. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN AN EFFECTIVE WORKING CONDITION.



**NOTE:**  
ALL FILL FROM THE EXCAVATION MUST BE REMOVED AND HAULED OFF SITE.



**NOTE:**  
DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH W/HOG RINGS, STEEL POSTS W/ TIE WIRES, WOOD POSTS W/ NAILS.

REVISED COAX ROUTE		JJR	JJR
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	
7	REVISED COAX ROUTE	07/02/15	

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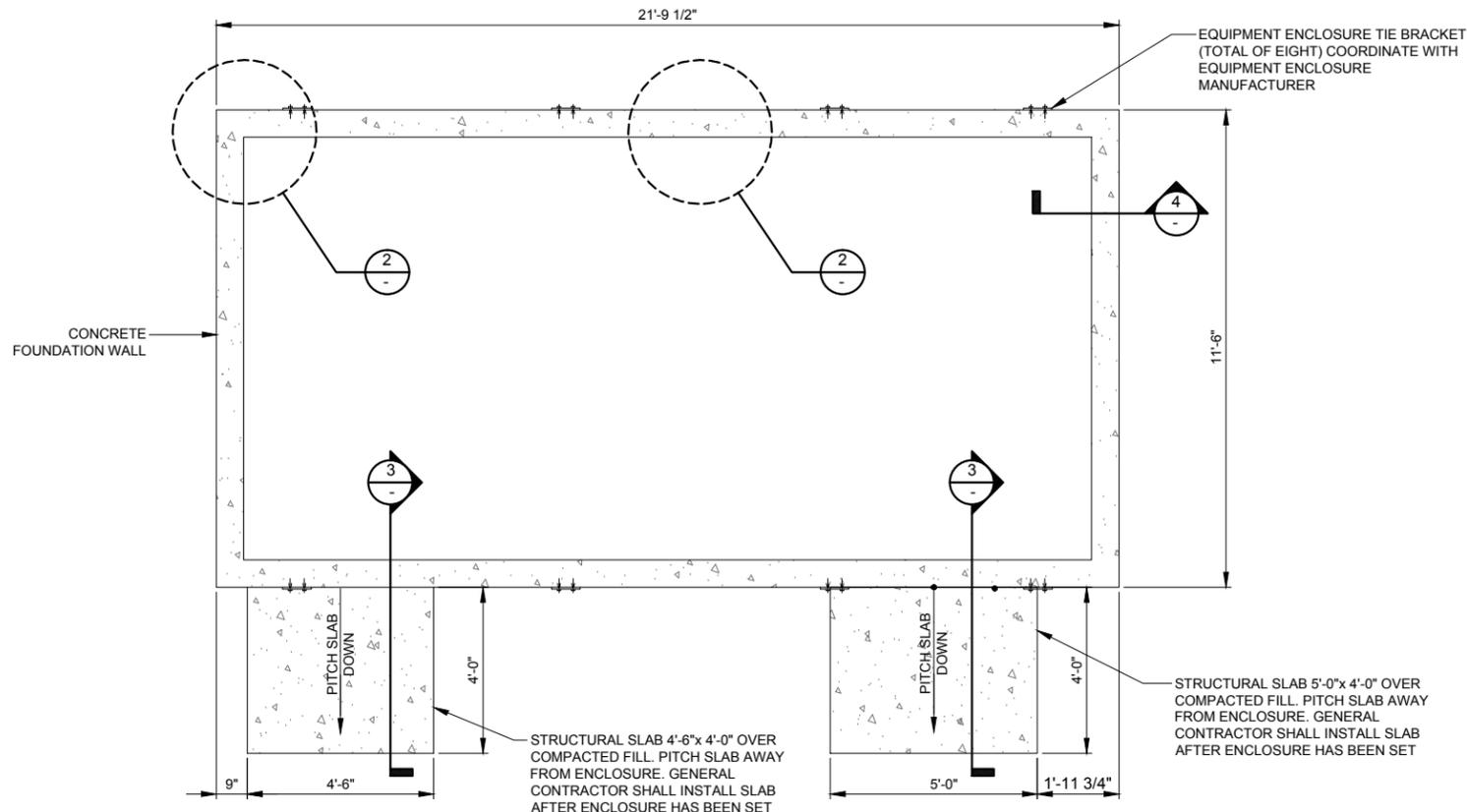
DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
**SITE GRADING PLAN**  
(SHEET 1 OF 1)

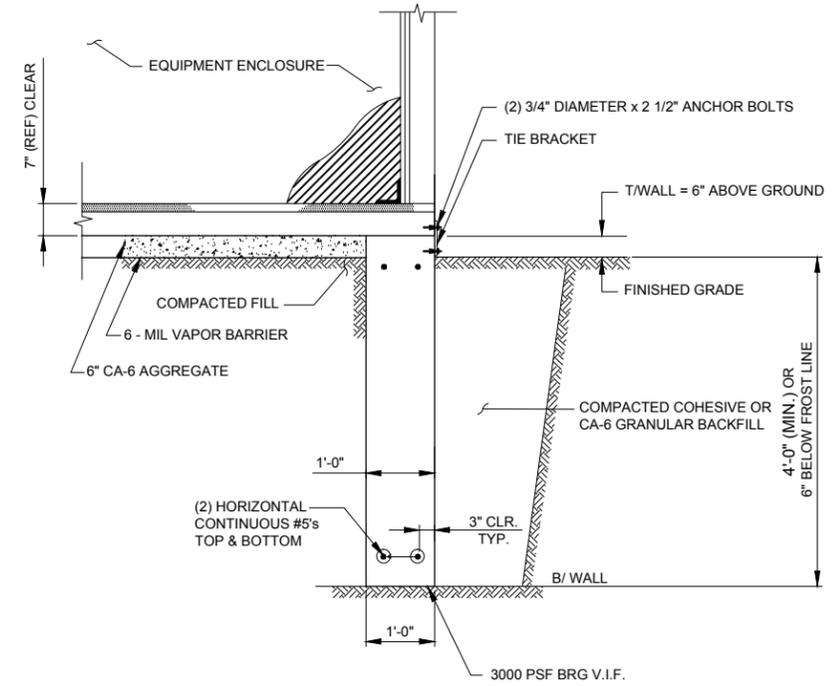
SHEET NUMBER  
**C-2**



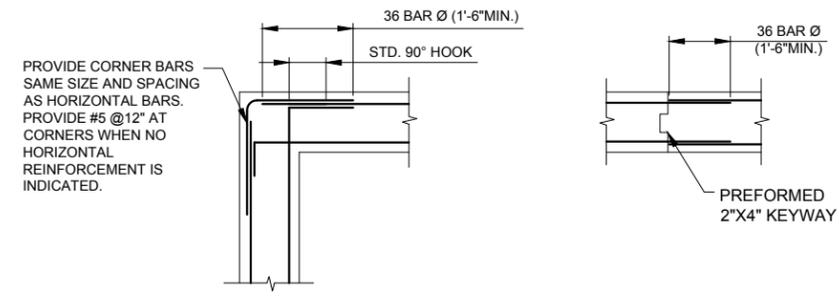
**SURVEY PERFORMED BY:**  
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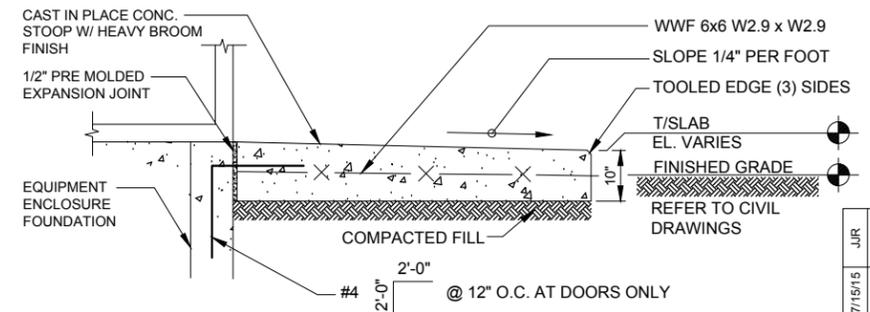
**1** EQUIPMENT ENCLOSURE FOUNDATION PLAN  
N.T.S.



**4** FOUNDATION WALL SECTION  
N.T.S.



**2** CONCRETE WALL REINFORCEMENT DETAILS  
N.T.S.



**3** STOOP DETAIL  
N.T.S.

**A. EQUIPMENT ENCLOSURE FOUNDATION**

- REFER TO CIVIL DRAWINGS FOR ORIENTATION OF THE FOUNDATIONS.
- EQUIPMENT ENCLOSURE FOUNDATION IS DESIGNED FOR THE FOLLOWING LOADS:  
ENCLOSURE DEAD LOAD: 70,000 LBS.  
ROOF LIVE LOAD: 105 PSF  
FLOOR LIVE LOAD: 150 PSF
- THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.
- FOOTINGS SHALL BEAR ON VIRGIN SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUPPORTING A MINIMUM SOIL BEARING PRESSURE OF 3000 PSF.
- SUBGRADE PREPARATION:  
A. REMOVE ALL SOILS CONTAINING TOPSOIL, ORGANIC MATERIALS, AND/OR FILL MATERIALS FROM WITHIN AREA OF ENCLOSURE FOUNDATION.  
B. PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR SIMILAR VEHICLE. (20 TON LOAD). CONTRACTOR SHALL UNDERCUT AND REPLACE WITH ENGINEERED FILL. ALL LOOSE SOFT OR UNSTABLE AREAS REVEALED DURING PROOFROLLING AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AND REPLACEMENT AS INDICATED IN THE GEOTECHNICAL REPORT AS PART OF THE BID.  
C. BACKFILL AND COMPACT THE AREA WITHIN THE BUILDING FOUNDATION. BETWEEN RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.
- FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS SHALL BE ADEQUATELY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED AND CURED FOR 72 HOURS MINIMUM.
- ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.
- CONTRACTOR TO ENSURE FOUNDATION / SLAB ARE POURED TO MEET FLATNESS LEVEL TOLERANCES AS INDICATED IN ACI 4.5.6 AND 4.5.7.

**B. EQUIPMENT ENCLOSURE**

THE EQUIPMENT ENCLOSURE IS A PRE-FABRICATED BUILDING MANUFACTURED BY FIBREBOND, MINDEN, LOUISIANA.  
THE EQUIPMENT ENCLOSURE BUILDING SHALL BE FURNISHED AND INSTALLED BY THE OWNER UNDER SEPARATE CONTRACT PER THE OWNER AND MANUFACTURER SPECIFICATIONS.

**C. CONCRETE NOTES**

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF  $F_c = 3000$  PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

**NOTE:**  
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL. FOUNDATION DEPTH AND OVER DIG REQUIREMENTS SHALL BE VERIFIED WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND INCLUDED IN THE BID BEFORE CONSTRUCTION. THE EVALUATION OF THE SUB GRADE AND SELECTION OF FILL MATERIALS SHALL BE MONITORED AND TESTED BY A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.

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EQUIPMENT  
ENCLOSURE  
FOUNDATION PLAN

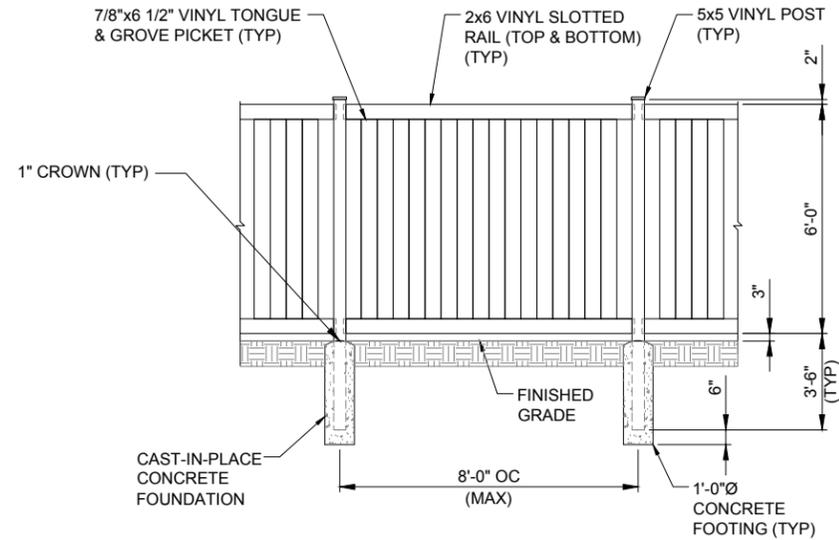
SHEET NUMBER  
**C-3**

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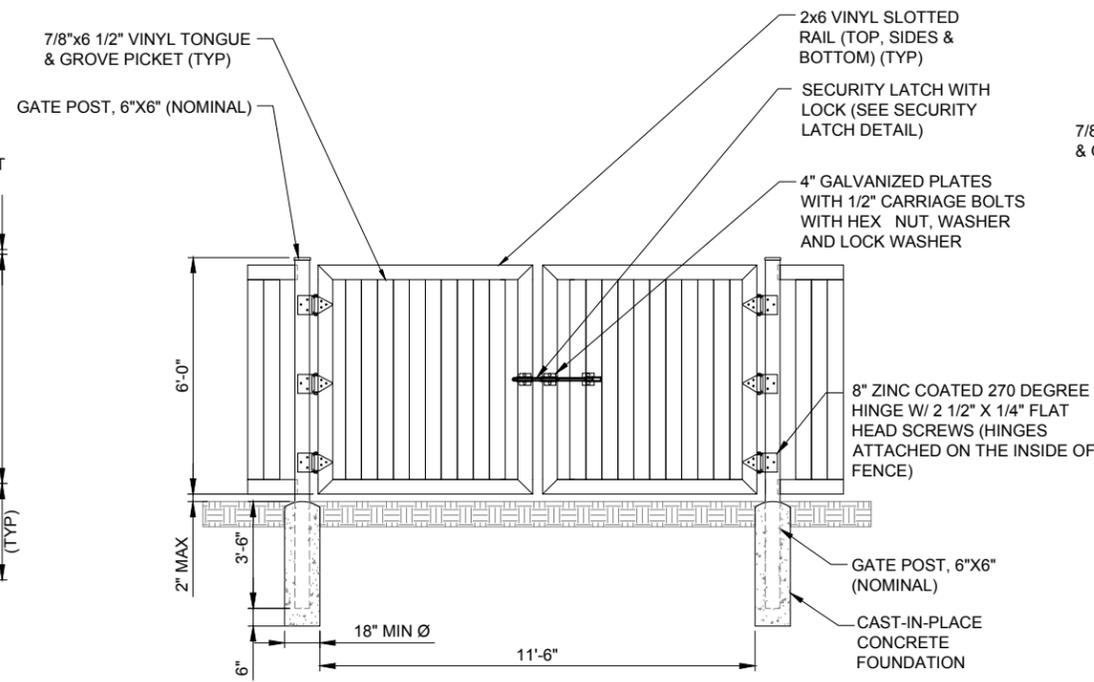
**TERRA**  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
TEL: 847-599-5400  
FAX: 847-599-5401

OPERATES 24 HOURS  
A DAY 365 DAYS A YEAR  
**Call Before You Dig**  
**JULIE**  
ILLINOIS  
ONE CALL SYSTEM  
CALL JULIE TOLL FREE  
1(800) 892-0123  
48 HOURS BEFORE  
YOU DIG

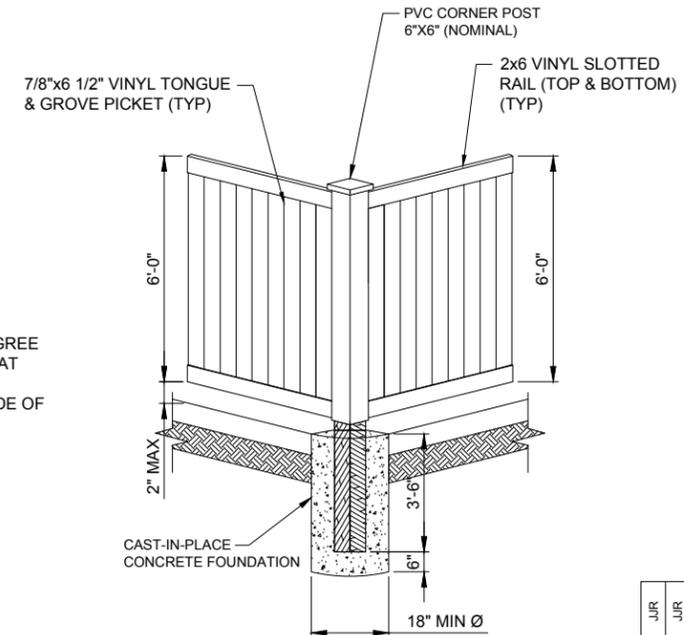
CONTRACTOR TO PROVIDE A 12"x12" CUT-OUT IN THE VINYL FENCING OPPOSITE THE METER LOCATION FOR METER READING. FRAME OUT THE CUT-OUT WITH VINYL 2x4's ON INSIDE OF FENCE PRIOR TO MAKING PENETRATION.



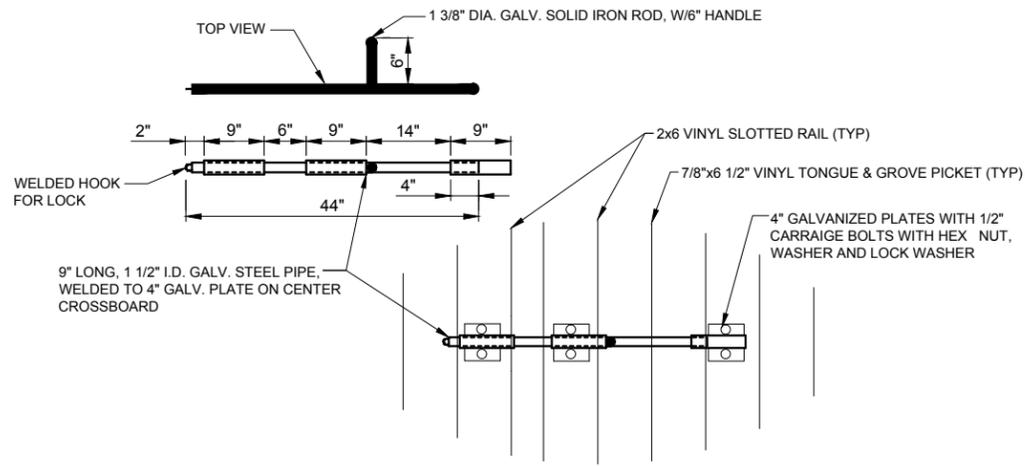
1 PVC POST N.T.S.



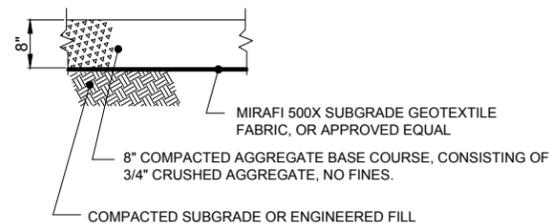
2 12'-0" DOUBLE SWING GATE N.T.S.



3 CORNER POST N.T.S.



4 SECURITY LATCH N.T.S.



5 AGGREGATE CROSS-SECTION N.T.S.

GENERAL NOTES

- REFER TO THE PROJECT MANUAL FOR ADDITIONAL INFORMATION AND REQUIREMENTS RELATED TO CONSTRUCTION.
- THE OWNER HAS CAUSED A GEOTECHNICAL EXPLORATION TO BE PERFORMED AT THE SITE.
- THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.

COPIES OF THE REPORT ARE ISSUED TO THE CONTRACTOR FOR CONVENIENCE ONLY. THE REPORT IS NOT A PART OF THE CONTRACT DOCUMENTS. NEITHER THE OWNER NOR THE ENGINEER/ARCHITECT GUARANTEE THE ACCURACY OR VALIDITY OF THE DATA CONTAINED THEREIN, NOR DO THEY ASSUME ANY RESPONSIBILITY FOR THE CONTRACTOR'S USE OR INTERPRETATION OF THE DATA CONTAINED THEREIN.

GEOTEXTILE PARAMETERS		
PROPERTY	MINIMUM VALUE (a)	TEST METHOD
GRAB STRENGTH	180 LBS.	ASTM D-4632-91
PUNCTURE STRENGTH	75 LBS.	ASTM D-4833-88
BURST STRENGTH	290 LBS.	ASTM D-3786
TRAPEZOIDAL TEAR	50 LBS.	ASTM D-4571-87

(a) ALL VALUES REPRESENT MINIMUM ROLL VALUES

NOTES:  
THE FABRIC SHOULD BE PLACED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. INTERSECTIONS OF SHEETS MUST BE SEWN OR SUFFICIENTLY OVERLAPPED (AT LEAST 24 INCHES) OR AS SPECIFIED BY THE MANUFACTURER. THE GEOTEXTILE SHEETS SHOULD ALSO BE PLACED TAUT TO REDUCE WRINKLES OR FOLDS. CARE MUST BE EXERCISED TO PREVENT PHYSICAL DAMAGE OF THE GEOTEXTILE PRIOR TO, DURING AND AFTER INSTALLATION. UTILITIES SHOULD BE INSTALLED BEFORE PLACING THE FABRIC.



**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REVIEW
2	ISSUED FOR REVIEW
3	UPDATE TOWER OWNER INFORMATION
4	ISSUED FOR PERMITTING
5	UPDATE TOWER HEIGHT / ANTENNAS
6	UPDATE PER FIBER COORDINATION
7	UPDATE PER COMMENTS

LOC. 278659  
SBA #IL46494-A  
N. TINLEY  
6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
FENCE DETAILS

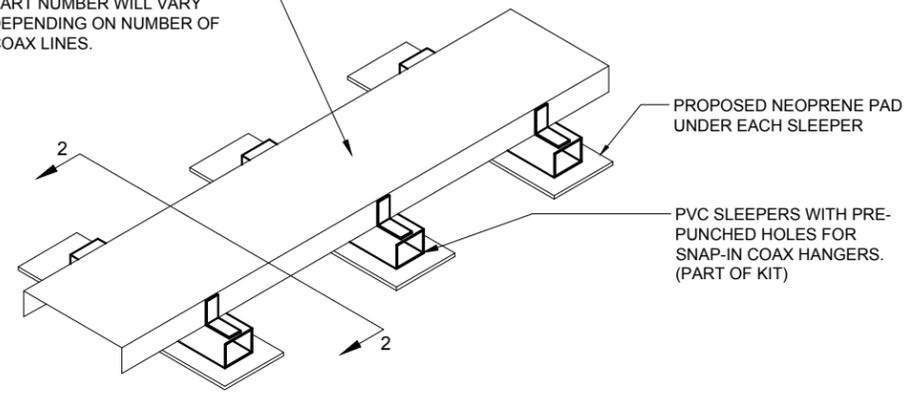
SHEET NUMBER  
**C-4**

BRIDGE KIT P/N	# OF COAX LINES	BRIDGE WIDTH
B1542-11	4	11-1/2"
B1543	8	1'-9 1/2"
B1595	12	2'-9"
B3098	16	1'-9 1/2"

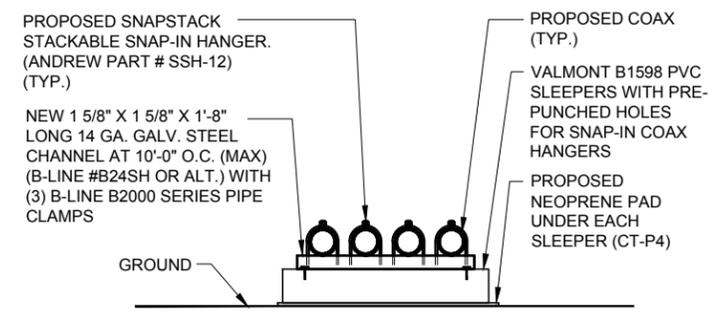
NOTE:  
AT TURNS USE MICROFLECT  
ADJUSTABLE SPLICES FOR 0°  
TO 45° BENDS AND 45° TO 90°  
BENDS

- NOTE:
- CONTRACTOR TO SUPPLY SUFFICIENT SLACK AT BOTH ENDS OF CABLE TRAY. CABLE TRAY SHOULD BE ABLE TO BE TEMPORARILY SHIFTED FOR MAINTENANCE.
  - IF CABLE BRIDGE REQUIRES TEMPORARY RELOCATION (DUE TO MAINTENANCE) REMOVE THE BRIDGE COVER TO EASE THE MOVEMENT OF THE NON-PENETRATING SLEEPERS.

MICROFLECT COAX BRIDGE KIT (NON-PENETRATING INSTALLATION) BRIDGE KIT PART NUMBER WILL VARY DEPENDING ON NUMBER OF COAX LINES.



**1** GROUND MOUNTED COAX COVER  
SCALE: N.T.S.



**2** GROUND MOUNTED COAX SUPPORT  
SCALE: N.T.S.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
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3	UPDATE TOWER OWNER INFORMATION	11/17/14	JJR
4	ISSUED FOR PERMITTING	12/08/14	JJR
5	UPDATE TOWER HEIGHT / ANTENNAS	01/28/15	JJR
6	UPDATE PER FIBER COORDINATION	02/20/15	MT
	UPDATE PER COMMENTS	03/09/15	JJR

LOC. 278659  
SBA #IL46494-A

N. TINLEY

6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
SITE DETAILS

SHEET NUMBER

**C-5**

**CHICAGO  
SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
TEL: 847-599-5400  
FAX: 847-599-5401

OPERATES 24 HOURS  
A DAY 365 DAYS A YEAR

**Call  
Before  
You Dig**

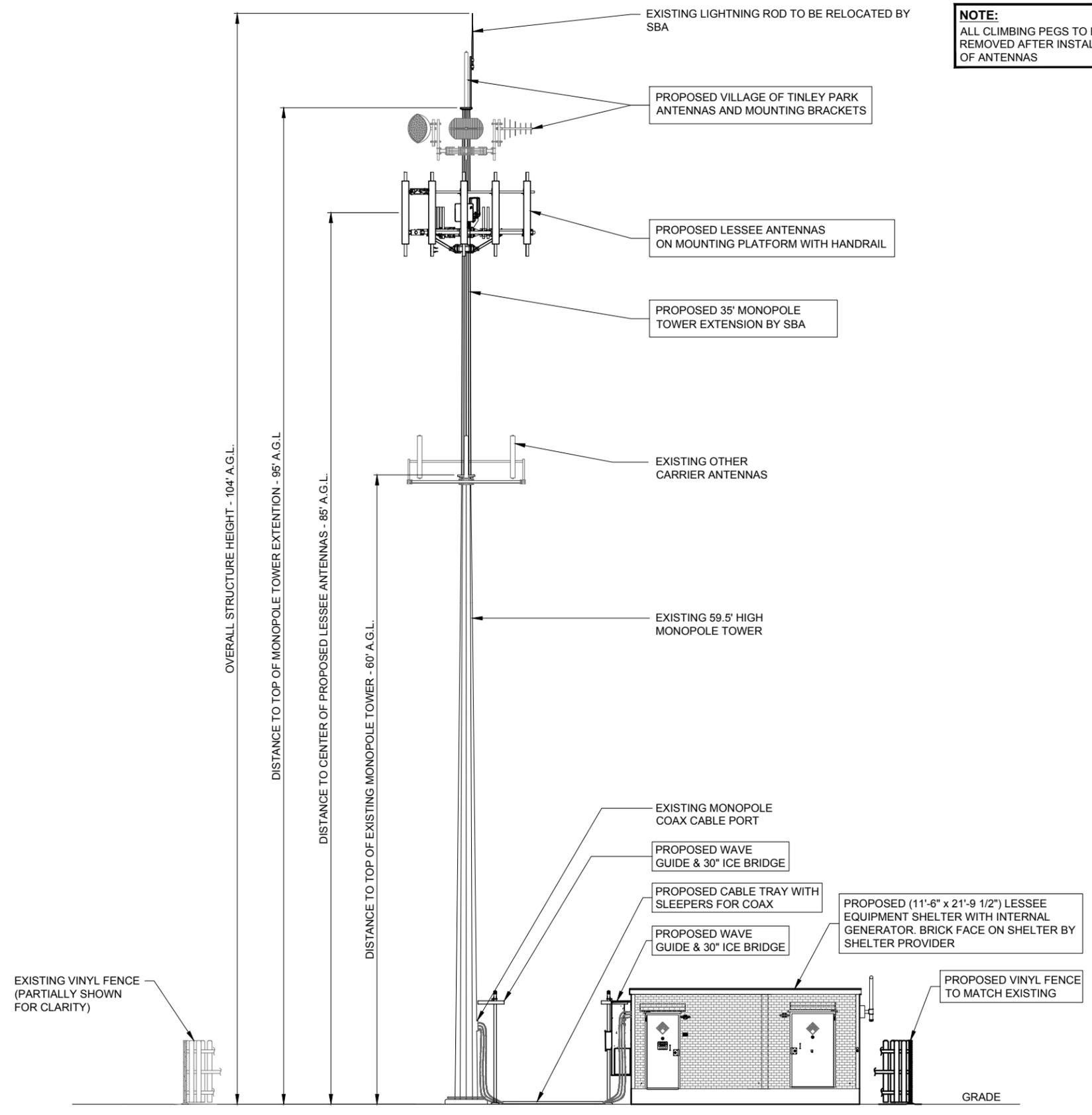
**JULIE**  
ILLINOIS  
ONE CALL SYSTEM

CALL JULIE TOLL FREE  
1(800) 892-0123  
48 HOURS BEFORE  
YOU DIG



SCALE: 3/16" = 1'  
 24" x 36" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

**NOTE:**  
 ALL CLIMBING PEGS TO BE REMOVED AFTER INSTALLATION OF ANTENNAS



1 EAST ELEVATION  
 SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
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	UPDATE PER COMMENTS	03/09/15	JJR

NO.	DESCRIPTION	DATE	BY
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	JJR
7	REVISED COAX ROUTE	07/02/15	JJR

LOC. 278659  
 SBA #IL46494-A  
 N. TINLEY  
 6640 W. 167TH ST.  
 TINLEY PARK, IL 60477

DRAWN BY: BTE  
 CHECKED BY: TAZ  
 DATE: 09/05/14  
 PROJECT #: 76-029

SHEET TITLE  
 SITE ELEVATION

SHEET NUMBER  
**ANT-1**

**CHICAGO SMSA**  
 limited partnership  
 d/b/a VERIZON WIRELESS



**EQUIPMENT CHANGE REQUEST FORM- ECR**

Cell Name		N Tinley		RF Engineer		R. Vaturro		Cell ID		366	
Location Number		278659		Market		HH		Address		6640 W 167th St	
Date of Request		11/24/2014						City/State/Zip		Tinley Park, IL, 60477	
PROPOSED CONFIGURATION											
Sector	Poa	Antenna				Configuration				Option-A2	
		Port	RF Path	Antenna Manufacturer	Antenna Model	Antenna Serial Number	Controllino	Azimuth	Variable Tilt	Mechanical Tilt	Action
Alpha	A1	L1 (-45)	LTE C - RxTx0	ANDREW	SBNHH1D05A_POR11 (-45)_000	R5	20	0	2	Change-Install	
		L2 (+45)	LTE C - RxTx1								
		H1 (+45)	PCS Future - RxTx0								
		H2 (+45)	PCS Future - RxTx1								
	A2	H3 (+45)	AWS - RxTx0								
		H4 (+45)	AWS - RxTx1								
		L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
	A3	H1 (+45)	PCS Future - RxTx1	ANDREW	SBNHH1D05A_POR11 (-45)_000	R5	20	0	2	Change-Install	
		H2 (+45)	PCS Future - RxTx0								
		H3 (+45)	AWS - RxTx0								
		H4 (+45)	AWS - RxTx1								
	A4	L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (+45)	Unused at this time								
Beta	B1	L1 (-45)	LTE C - RxTx0	ANDREW	SBNHH1D05A_POR11 (-45)_000	R5	140	0	1	Change-Install	
		L2 (+45)	LTE C - RxTx1								
		H1 (+45)	PCS Future - RxTx0								
		H2 (+45)	PCS Future - RxTx1								
	B2	H3 (+45)	AWS - RxTx0								
		H4 (+45)	AWS - RxTx1								
		L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
	B3	H1 (+45)	PCS Future - RxTx1	ANDREW	SBNHH1D05A_POR11 (-45)_000	R5	140	0	1	Change-Install	
		H2 (+45)	PCS Future - RxTx0								
		H3 (+45)	AWS - RxTx0								
		H4 (+45)	AWS - RxTx1								
	B4	L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (+45)	Unused at this time								
Gamma	G1	L1 (-45)	LTE C - RxTx0	ANDREW	SBNHH1D05A_POR11 (-45)_000T 0225	R5	25%	0	3	Change-Install	
		L2 (+45)	LTE C - RxTx1								
		H1 (+45)	PCS Future - RxTx0								
		H2 (+45)	PCS Future - RxTx1								
	G2	H3 (+45)	AWS - RxTx0								
		H4 (+45)	AWS - RxTx1								
		L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
	G3	H1 (+45)	PCS Future - RxTx1	ANDREW	SBNHH1D05A_POR11 (-45)_000T 0225	R5	25%	0	3	Change-Install	
		H2 (+45)	PCS Future - RxTx0								
		H3 (+45)	AWS - RxTx0								
		H4 (+45)	AWS - RxTx1								
	G4	L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (+45)	Unused at this time								

Comments

PPC CONNECTORS ONLY

1 PROPOSED ANTENNA CONFIGURATION  
N.T.S.

ESTIMATED MAIN LINE HYBRID LENGTH			
ANTENNA CENTERLINE (±)	ICE BRIDGE LENGTH (±)	SHELTER (±)	TOTAL (±)
85'	18'	15'	118'

Combiner - Cable Data

Existing				
Diplexer	Location	Diplexer Manufacturer	Diplexer Model	Count
	Top (Platform)			
	Bottom (Shelter)			

Proposed				
Location	Manufacturer	Component Model	Count	Action
Top (Platform)				
Bottom (Shelter)				
Top (Platform)	Ericsson	RRU12	3	Install
Top (Platform)	Ericsson	RRU12 (PCS)	3	Do Not Install - Lease ONLY
Top (Platform)	Westell	700 TMA	6	Install
Top (Platform)	Ericsson	RUS01 B4 (PCS A2 BOX)	3	Do Not Install - Lease ONLY
Top (Platform)	Ericsson	RUS02 B2 (A2 BOX)	3	Install
Top (Platform)	Raycap	RCMDC-3315-PF-48	1	Install
Bottom (Shelter)	Raycap	RCMDC-3315-PF-48	1	Install

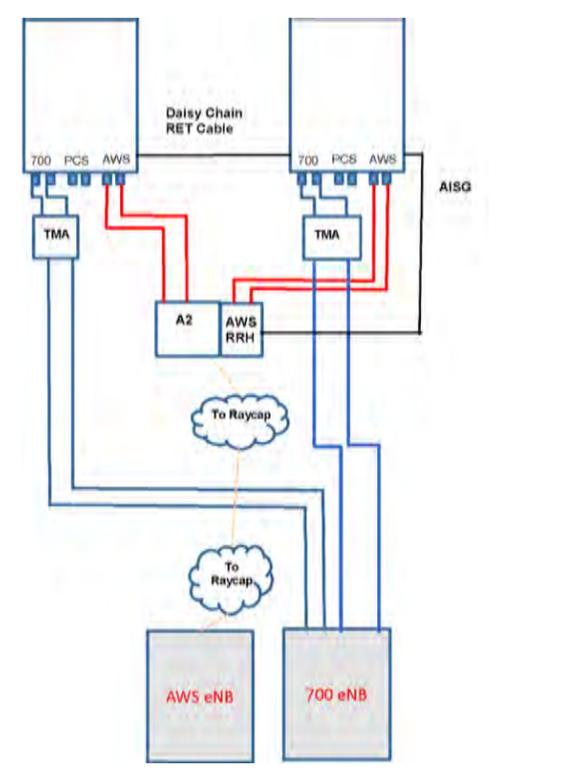
  

Sector	Coax Manufacturer	Type	Size	Count	Action
Alpha	ANDREW		1.5/8	4	Install
Beta	ANDREW		1.5/8	4	Install
Gamma	ANDREW		1.5/8	4	Install
AWS	Andrew	HF11206-24S25-300X	1.5/8	1	Install

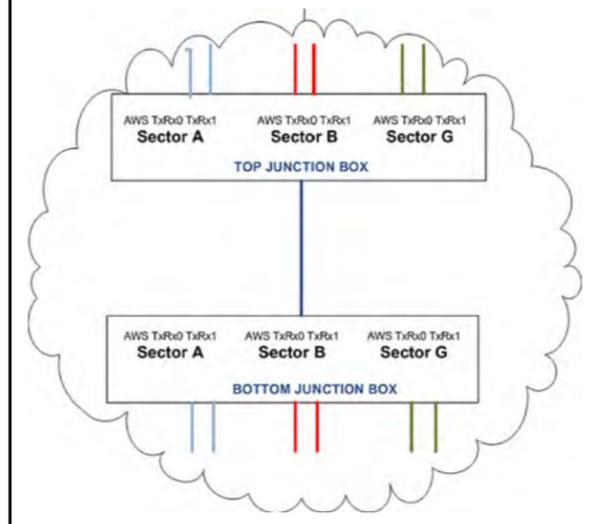
Comments

NOTE: BUNDLE CABLES TO TREAT AS ONE CABLE FOR LEASE PURPOSES

2 COMBINER CABLE DATA INFORMATION  
N.T.S.



3 CABLE DIAGRAM  
N.T.S.



4 CABLE DIAGRAM @ JUNCTION BOX  
N.T.S.

8	7	UPDATED / ADDED CONDUIT ROUTE	JJR	07/15/15
		REVISED COAX ROUTE	JJR	07/02/15

REVISIONS					
NO.	DESCRIPTION	DATE	BY	MT	JJR
1	ISSUED FOR REVIEW	09/05/14	BTE		
2	ISSUED FOR REVIEW	11/05/14	JJR		
3	UPDATE TOWER OWNER INFORMATION	11/17/14	JJR		
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	UPDATE PER COMMENTS	03/09/15	JJR		

LOC. 278659  
SBA #IL46494-A

N. TINLEY

6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY: BTE

CHECKED BY: TAZ

DATE: 09/05/14

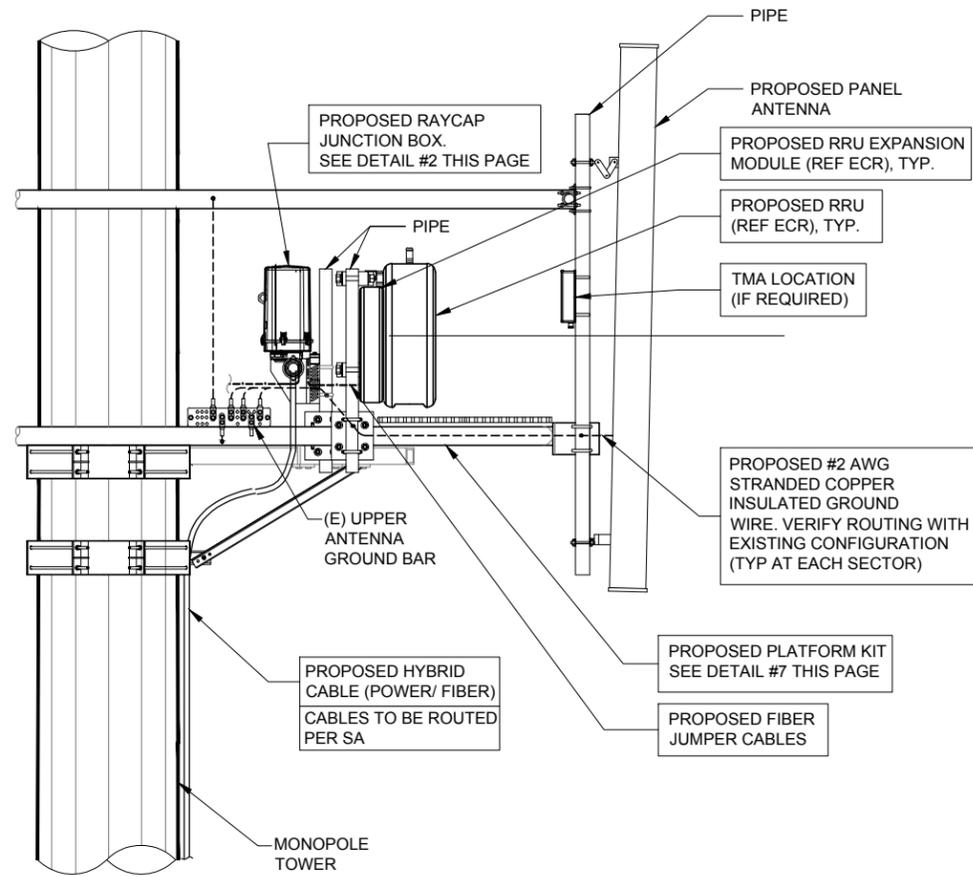
PROJECT #: 76-029

SHEET TITLE  
ANTENNA INFORMATION

SHEET NUMBER  
**ANT-2**

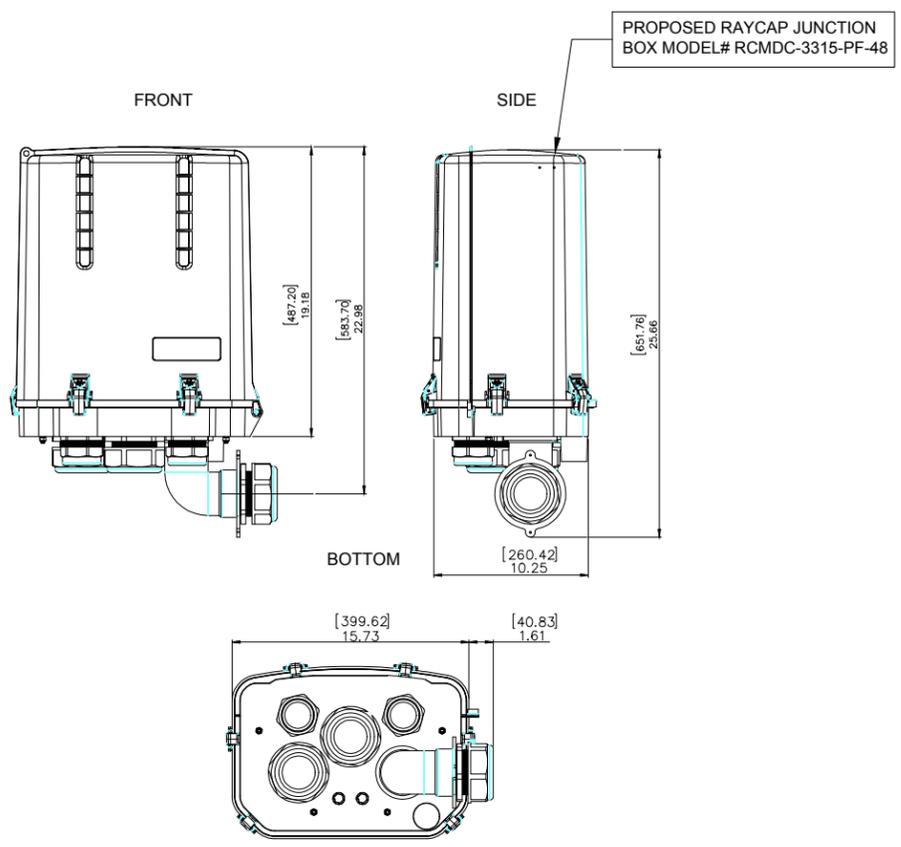
**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



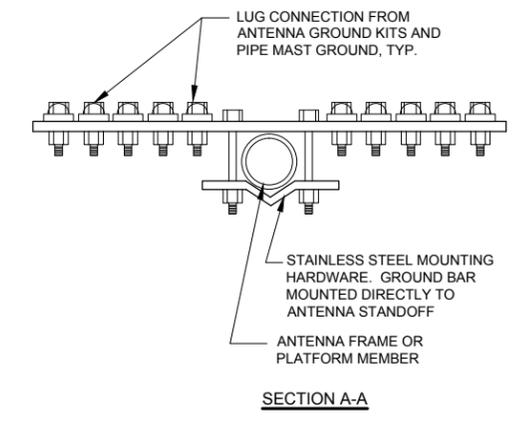


**1 ANTENNA, RRU & RAYCAP JUNCTION BOX MOUNTING DETAIL**  
SCALE: N.T.S.

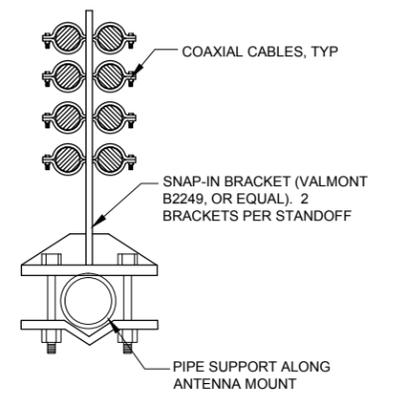
SPECIFICATIONS DC SURGE PROTECTION FOR RRU/INTEGRATED ANTENNA RADIO HEAD [mm]  
 APPLICATION: TOWER / BASE / ROOFTOP / ROOFTOP DISTRIBUTION MODELS INCHES  
 WEIGHT: 32LBS (14.51 KG)



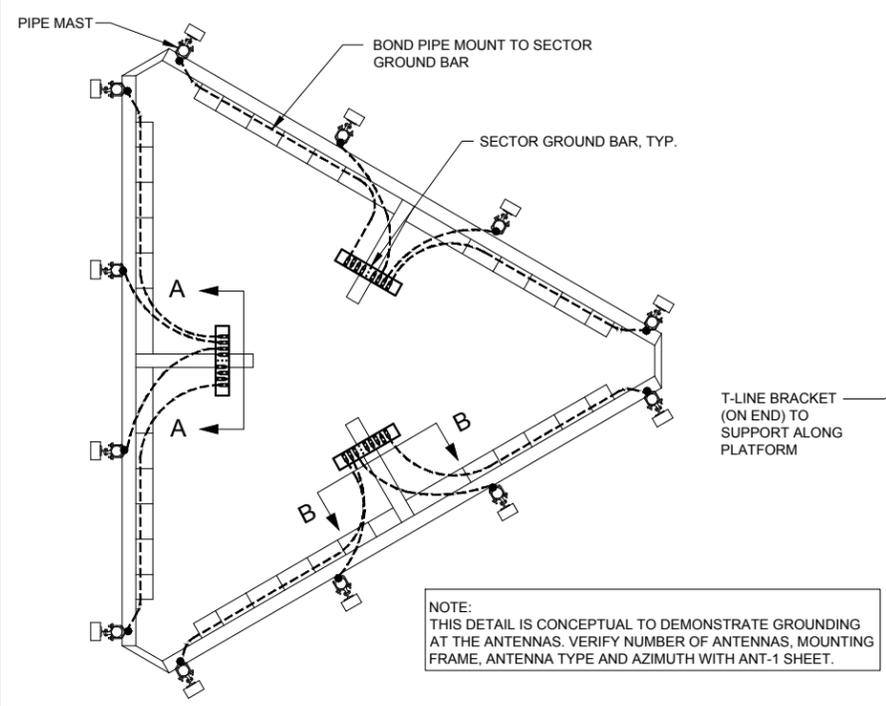
**2 RAYCAP JUNCTION BOX DETAIL**  
SCALE: N.T.S.



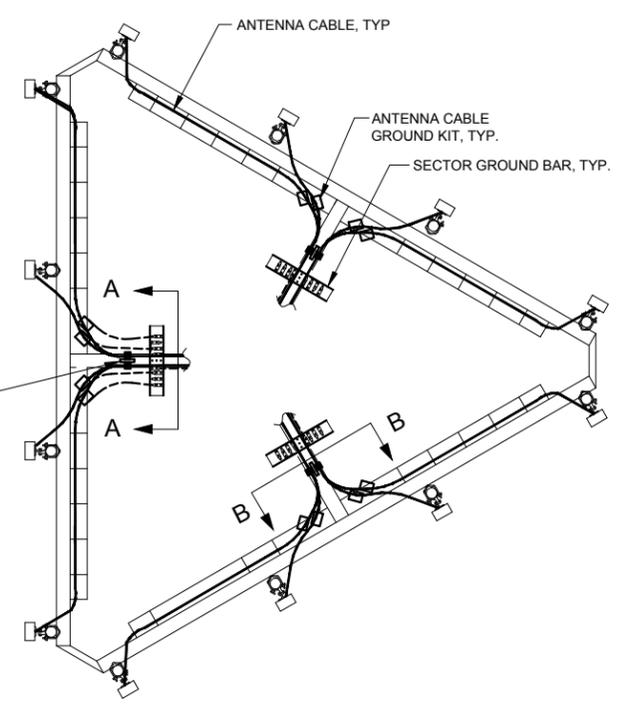
**3 GROUND BAR AT SECTOR**  
N.T.S.



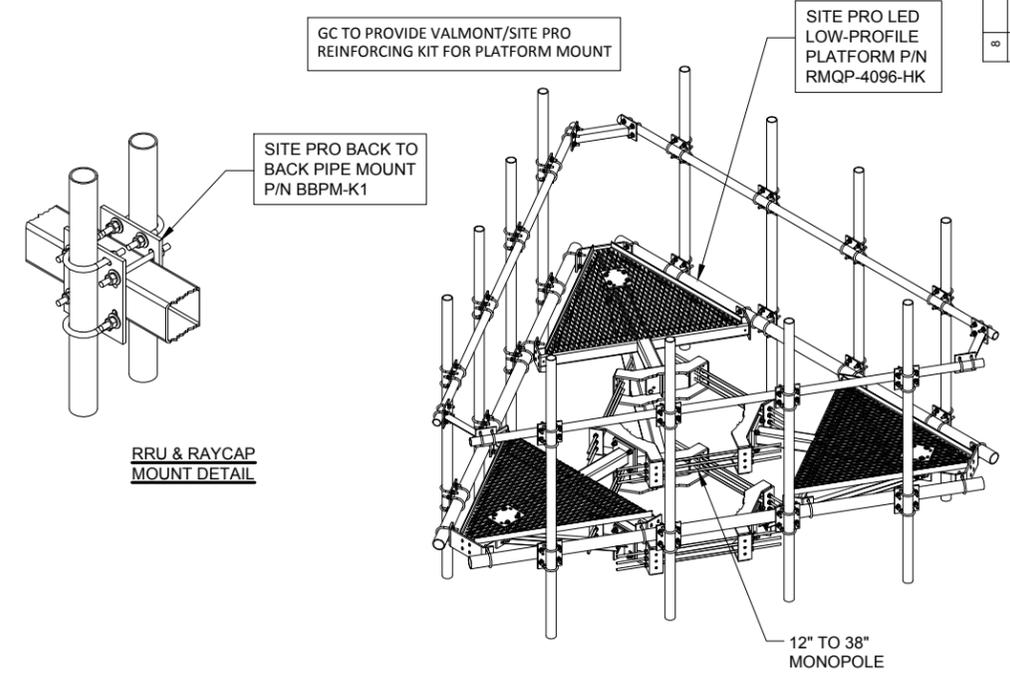
**4 SNAP-IN BRACKET AT ANTENNA MOUNT**  
N.T.S.



**5 PIPE MAST GROUNDING AT ANTENNA ELEVATION**  
N.T.S.



**6 ANTENNA CABLE GROUNDING AT ANTENNA ELEVATION**  
N.T.S.



**7 LED LO-PROFILE PLATFORM DETAIL**  
SCALE: N.T.S.

REVISIONS		JJR	JJR
NO.	DESCRIPTION	DATE	BY
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	JJR
7	REVISED COAX ROUTE	07/02/15	JJR
1	ISSUED FOR REVIEW	09/05/14	BTE
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	UPDATE PER COMMENTS	03/09/15	JJR

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
TEL: 847-599-5400  
FAX: 847-599-5401

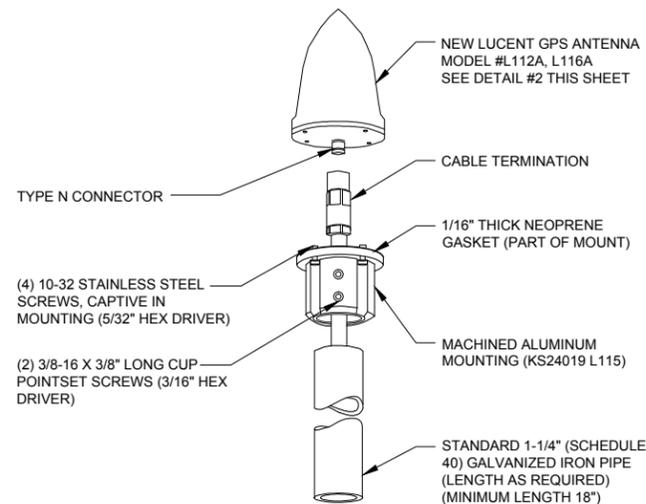
LOC. 278659  
SBA #IL46494-A  
N. TINLEY  
6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY: BTE  
CHECKED BY: TAZ  
DATE: 09/05/14  
PROJECT #: 76-029

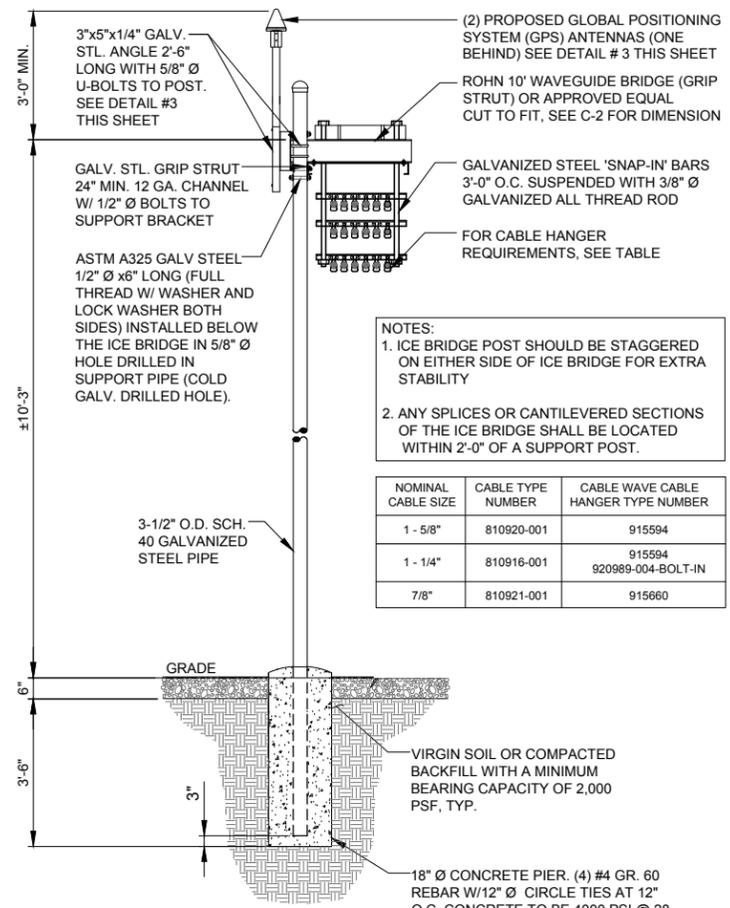
SHEET TITLE  
**ANTENNA MOUNTING DETAILS**

SHEET NUMBER  
**ANT-3**

NOTE:  
INSTALL EACH GPS ON THE  
CLOSEST ICE BRIDGE POSTS TO  
SHELTER (TYP. AT 2 LOCATIONS).



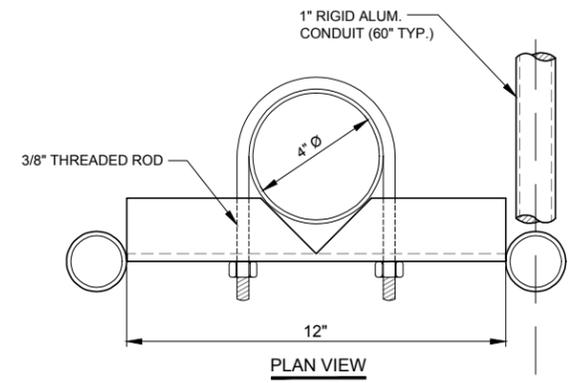
1 TYPICAL GPS DETAIL  
N.T.S.



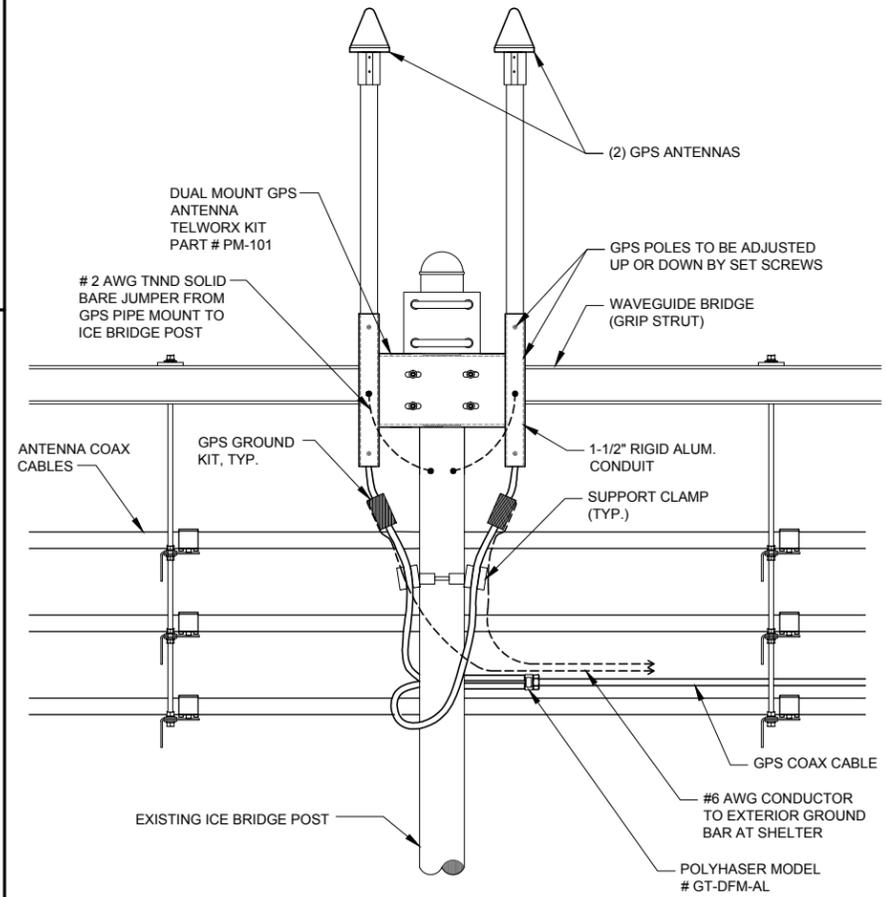
NOTES:  
1. ICE BRIDGE POST SHOULD BE STAGGERED  
ON EITHER SIDE OF ICE BRIDGE FOR EXTRA  
STABILITY  
2. ANY SPLICES OR CANTILEVERED SECTIONS  
OF THE ICE BRIDGE SHALL BE LOCATED  
WITHIN 2'-0\"/>

NOMINAL CABLE SIZE	CABLE TYPE NUMBER	CABLE WAVE CABLE HANGER TYPE NUMBER
1 - 5/8"	810920-001	915594
1 - 1/4"	810916-001	915594 920989-004-BOLT-IN
7/8"	810921-001	915660

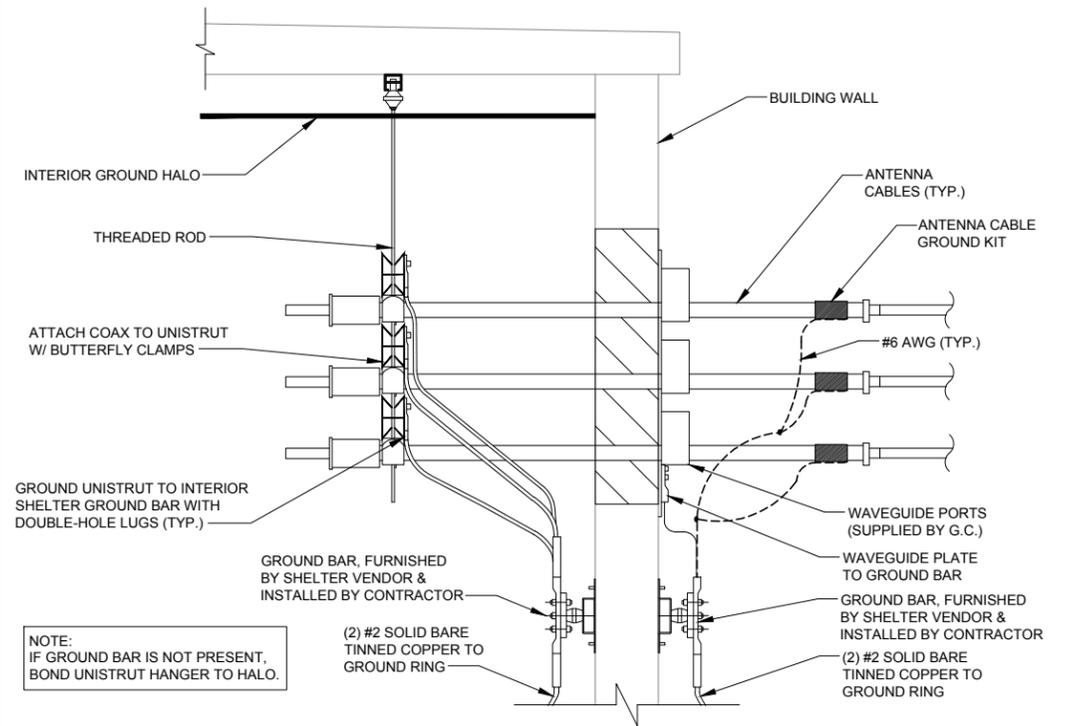
2 ICE BRIDGE DETAIL  
N.T.S.



PLAN VIEW

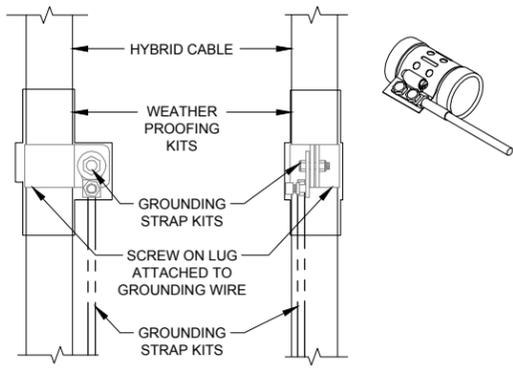


3 GPS MOUNTING DETAIL  
N.T.S.



4 ENCLOSURE ENTRY PANEL GROUNDING DETAIL  
N.T.S.

NOTES:  
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.  
2. THIS DETAIL IS TYPICAL FOR EACH COAX CABLE WHERE IT IS SPECIFIED TO BE GROUNDED  
3. CABLE TO BE GROUNDED AT ANTENNA LEVEL AND PRIOR TO ENTERING SHELTER ENTRY PANEL.  
4. CABLE ALSO TO BE GROUNDED TO GROUND BAR AT TOWER BASE IF APPLICABLE.  
5. USE ONLY TIN PLATED GROUNDING KITS.



5 COAX/ HYBRID GROUND KIT DETAIL  
N.T.S.

REVISIONS		JJR	JJR
NO.	DESCRIPTION	DATE	BY
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9	REVISED COAX ROUTE	07/02/15	JJR

LOC. 278659  
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DRAWN BY:	BTE
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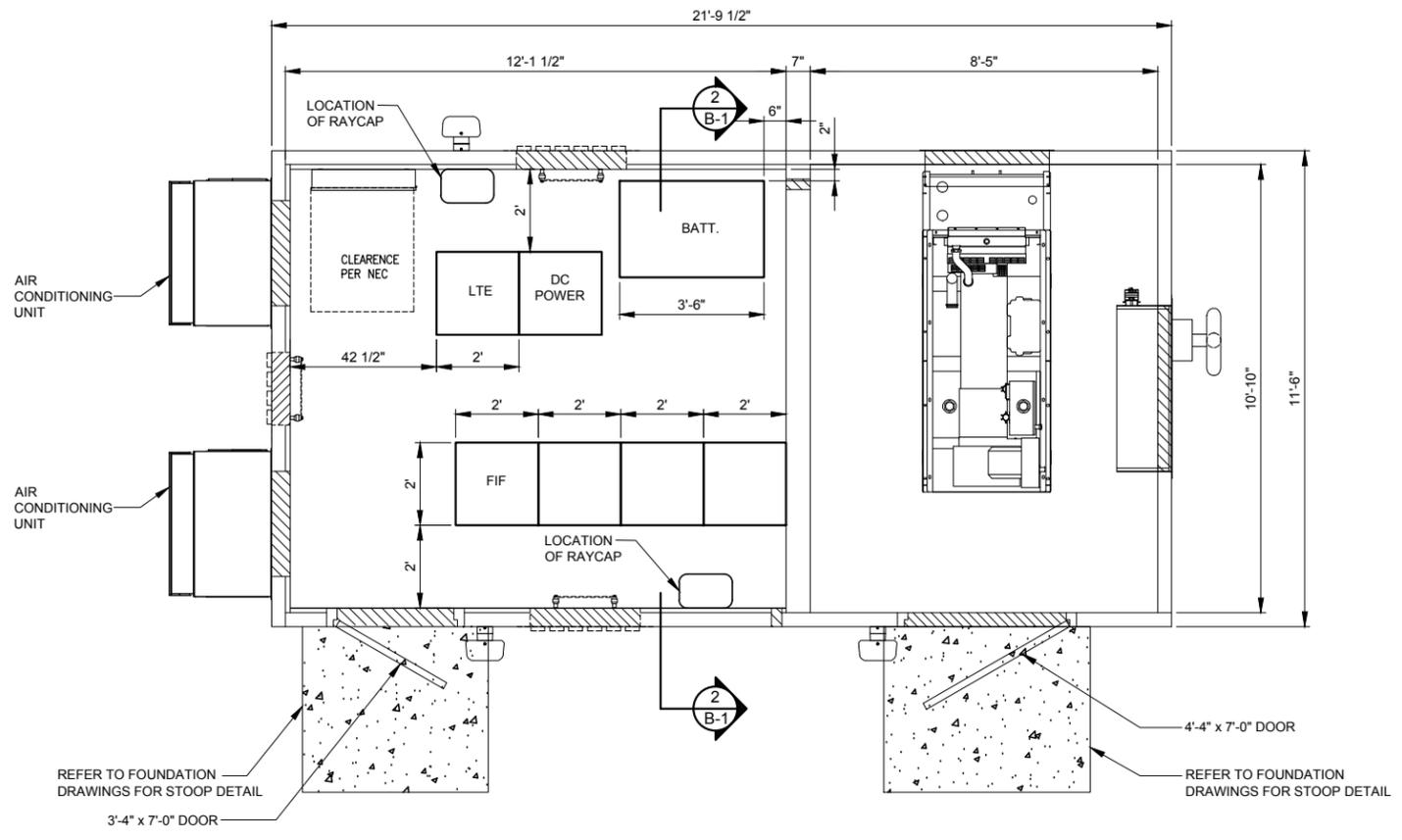
SHEET TITLE  
ANTENNA MOUNTING DETAILS

SHEET NUMBER

**ANT-4**

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



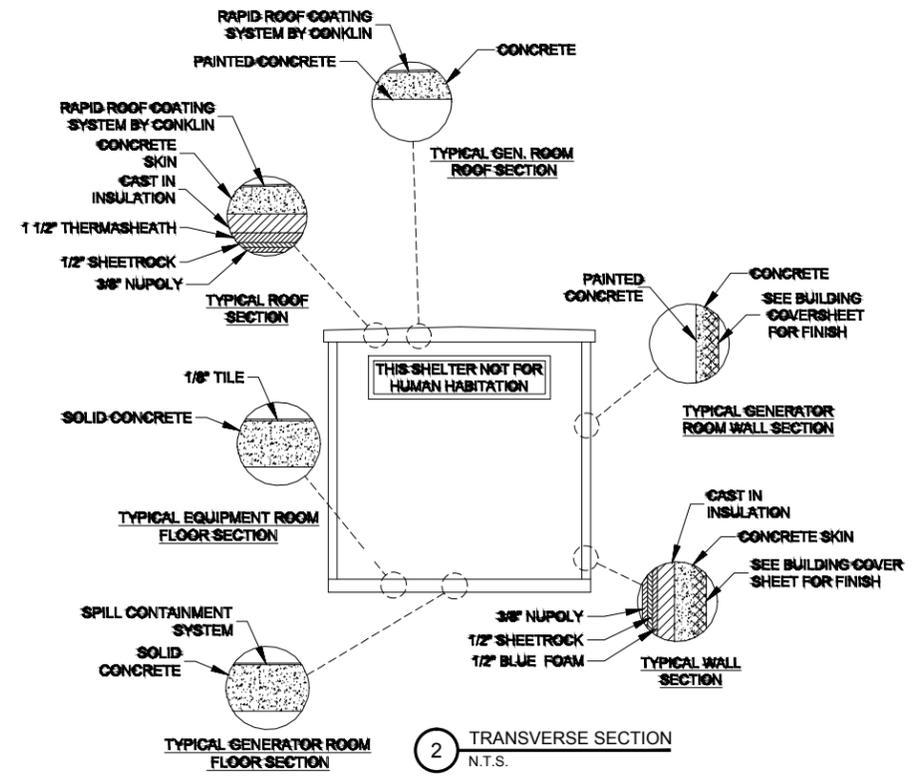


NOTE:  
GENERAL CONTRACTOR IS RESPONSIBLE FOR  
INSTALLING ALL EXTERIOR ATTACHMENTS FOR  
GENERATOR (HOODS, MUFFLER, VENT, FILL, ETC.)

**1 FLOOR PLAN-EQUIPMENT ENCLOSURE**  
SCALE: 1/2" = 1'-0"

**VENTILATION NOTES:**

- AIR CONDITIONING IS PROVIDED BY A BARD WALL MOUNTED SELF-CONTAINED ENERGY EFFICIENT COOLING SYSTEM, MODEL # WA602-A05EX2X1.5 TON, 120/240 VOLT, 30 AMP, SINGLE PHASE, 57,500 BTUH COOLING CAPACITY, 10.20 SEER, 24" DIA. FAN, 2600 CFM WITH FILTER
- ELECTRIC HEAT IS PROVIDED BY 5 KW, 18,840 BTUH, 240 VOLT, SINGLE PHASE HEAT STRIP, WITHIN BARD UNIT LISTED ABOVE.



**2 TRANSVERSE SECTION**  
N.T.S.

ROOM PURPOSE	AREA	VENTILATION				REMARKS
		NATURAL		MECHANICAL		
		ACTUAL	REQUIRED	ACTUAL	REQUIRED	
WIRELESS TELEPHONE EQUIPMENT ENCLOSURE (NON-INHABITED)	225.21 S.F.	0 CFM	0 CFM	2600 CFM	0 CFM	SEE NOTE 1.

**NOTES:**

- EQUIPMENT ENCLOSURE IS PRE MANUFACTURED. THIS SHEET IS PROVIDED AS GUIDE ONLY. REFER TO ACTUAL DRAWINGS BY SHELTER MANUFACTURE FOR FULL BUILDING PLANS.
- EPS BOARD INSULATION IS LISTED TO HAVE A FLAME SPREAD OF 25 OR LESS AND SMOKE DEVELOPED OF 450 OR LESS WITH A MAXIMUM THICKNESS OF 2 INCHES AT 1 PCF DENSITY. POLYISOCYANURATE FOAM INSULATION HAS BEEN TESTED TO A MAXIMUM THICKNESS OF 3 INCHES AT 1.9 PCF AND HAS A FLAME SPREAD OF 25 AND A SMOKE PRODUCT OF 395.
- INTERIOR PANELING IS LISTED TO HAVE A FLAMESPREAD OF 200 OR LESS.
- THIS ENCLOSURE IS CLASSIFIED AS USE GROUP S-2, TYPE 5B CONSTRUCTION; AND IS IN COMPLIANCE WITH 2003 INTERNATIONAL BUILDING CODE, 2003 INTERNATIONAL MECHANICAL CODE, 2002 NEC AND ILLINOIS ASHRAE 90.1.
- DESIGN CRITERIA  
WIND LOAD = 125 MPH FLOOR DEAD LOAD = 35 PSF  
ROOF LIVE LOAD = 105 PSF WALL DEAD LOAD = 35 PSF  
FLOOR LIVE LOAD = 150 PSF SNOW LOAD = 80 PSF  
ROOF DEAD LOAD = 45 PSF SEISMIC EXPOSURE GROUP = III
- $F_c' = 5000$  PSI @ 28 DAYS (EQUIPMENT ENCLOSURE)
- ENCLOSURE AND ASSOCIATED EQUIPMENT IS PROVIDED BY OWNER UNDER SEPARATE CONTRACT. EQUIPMENT ENCLOSURE INFORMATION INDICATED HEREIN IS PROVIDED FOR REFERENCE ONLY AND IS TAKEN FROM MANUFACTURER'S AVAILABLE DATA. REFER TO CIVIL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT.
- PRIOR TO PROJECT CLOSE OUT AND SHELTER INSTALLATION, THE GENERAL CONTRACTOR IS TO CLEAN THE SHELTER FLOOR AND APPLY A STATIC-FREE WAX TO THE FLOORS.

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REVIEW
2	ISSUED FOR REVIEW
3	UPDATE TOWER OWNER INFORMATION
4	ISSUED FOR PERMITTING
5	UPDATE TOWER HEIGHT / ANTENNAS
6	UPDATE PER FIBER COORDINATION
	UPDATE PER COMMENTS

LOC. 278659  
SBA #IL46494-A

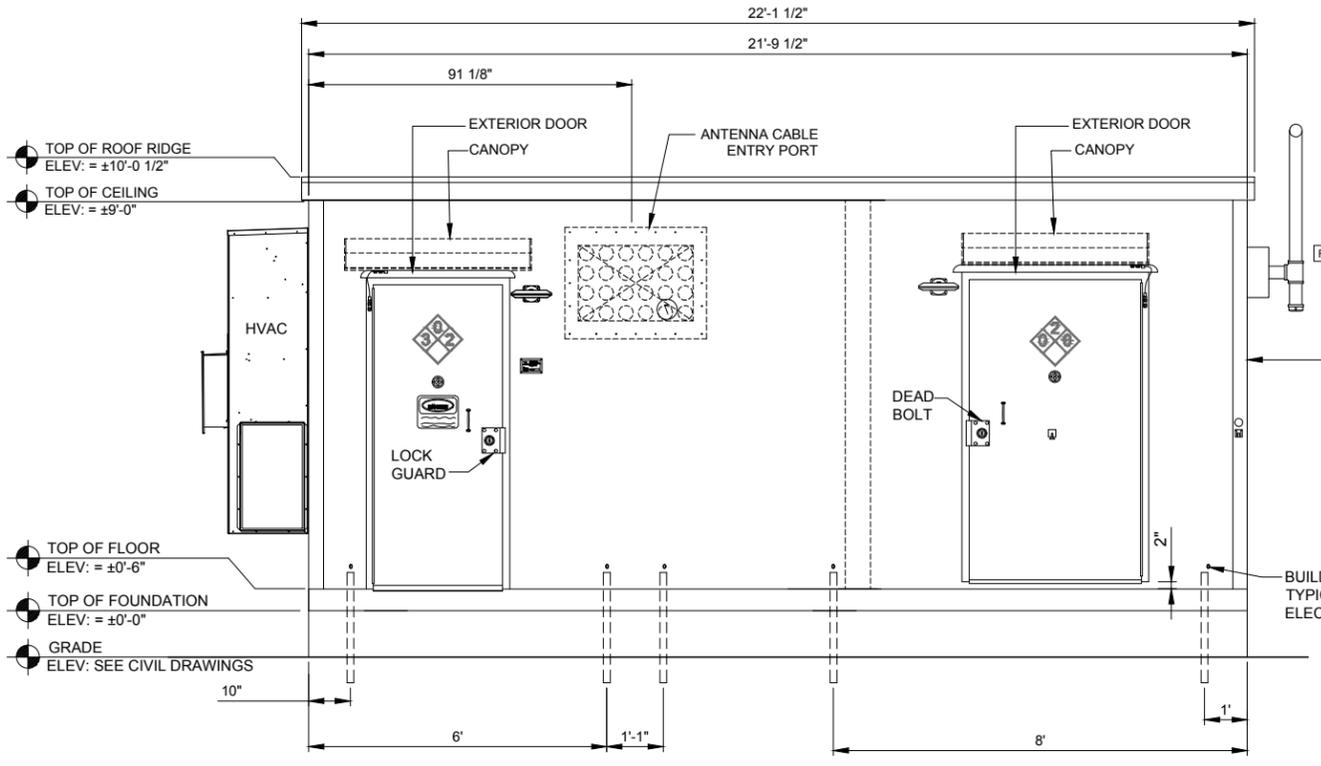
**N. TINLEY**

6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
**EQUIPMENT ENCLOSURE PLAN & SECTION**

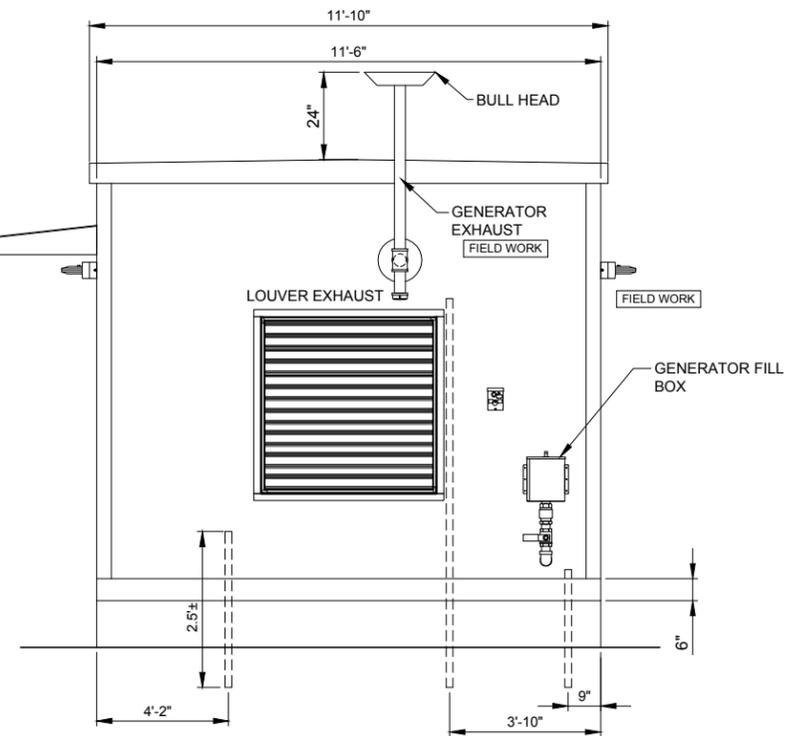
SHEET NUMBER  
**B-1**



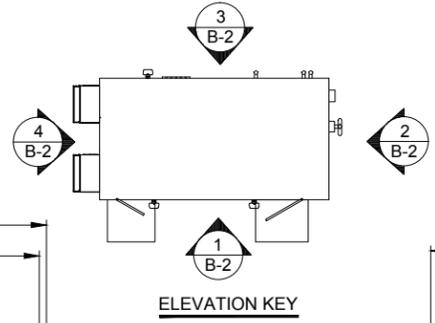
**1 ELEVATION-EQUIPMENT ENCLOSURE**  
 SCALE: 1/2" = 1'-0"

**NOTE:**  
 ALL SHELTER LIGHTS  
 TO BE SHIELDED

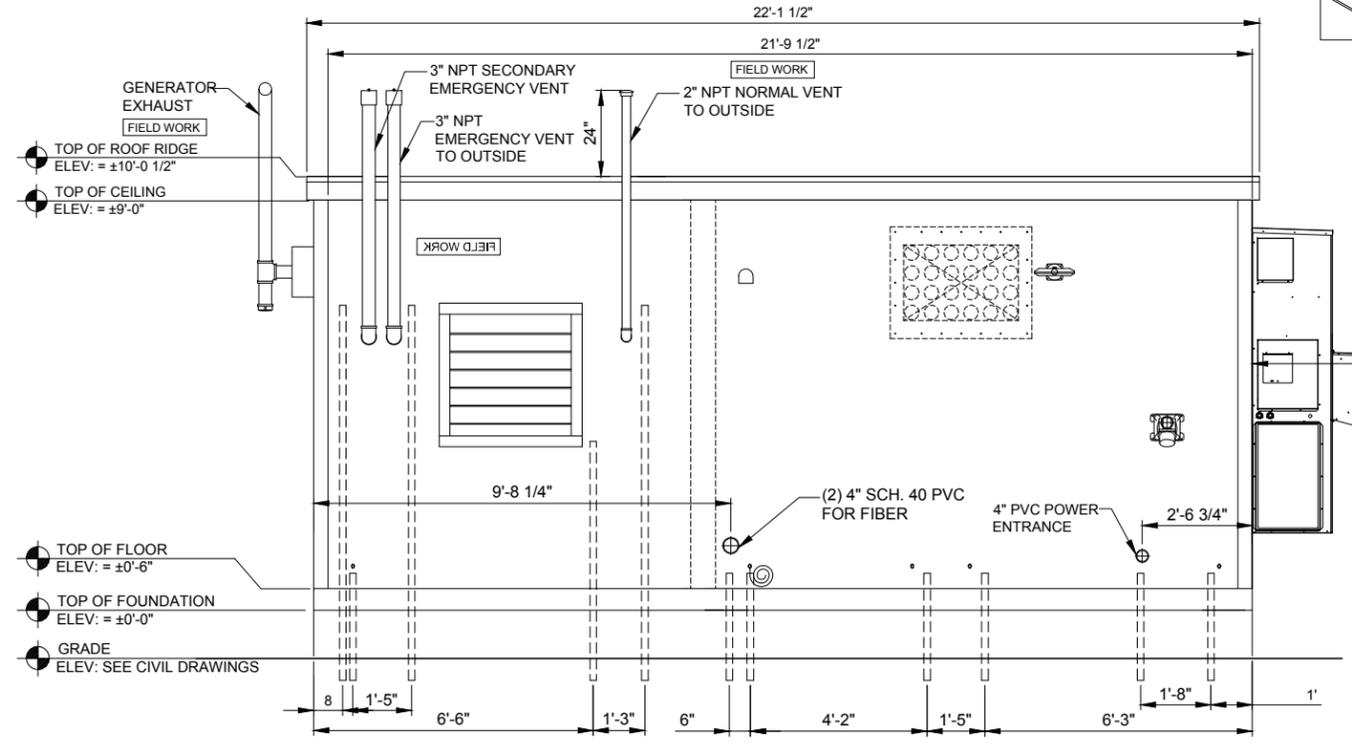
**NOTE:**  
 SHELTER REQUIRES  
 BRICK FACE



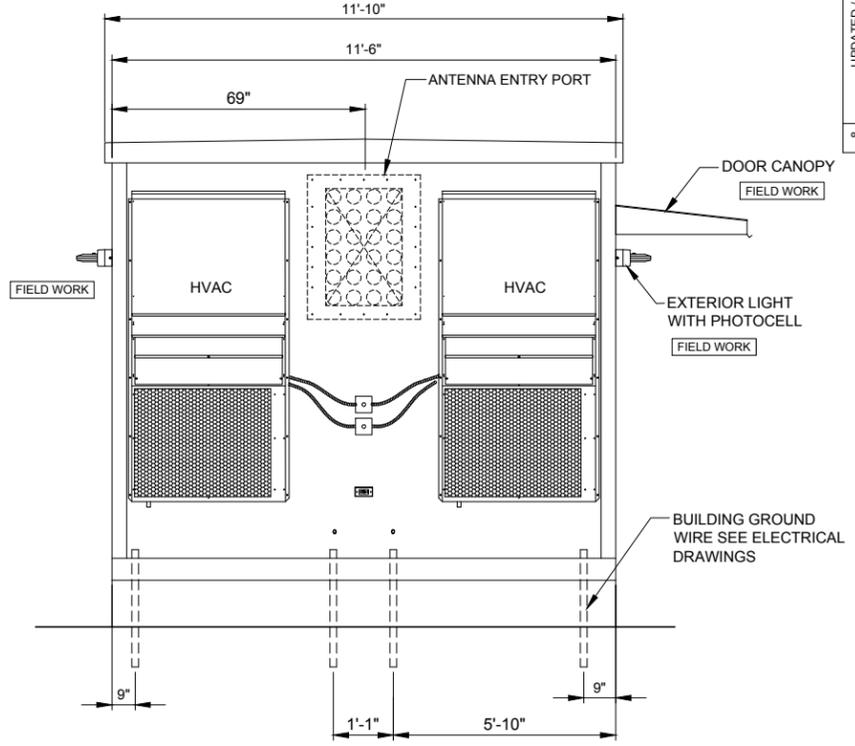
**2 ELEVATION-EQUIPMENT ENCLOSURE**  
 SCALE: 1/2" = 1'-0"



**ELEVATION KEY**



**3 ELEVATION-EQUIPMENT ENCLOSURE**  
 SCALE: 1/2" = 1'-0"



**4 ELEVATION-EQUIPMENT ENCLOSURE**  
 SCALE: 1/2" = 1'-0"

REVISED COAX ROUTE		JJR	JJR
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	07/02/15
REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
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4	ISSUED FOR PERMITTING	12/08/14	JJR
5	UPDATE TOWER HEIGHT / ANTENNAS	01/28/15	JJR
6	UPDATE PER FIBER COORDINATION	02/20/15	MT
	UPDATE PER COMMENTS	03/09/15	JJR

**LOC. 278659**  
**SBA #IL46494-A**  
**N. TINLEY**  
 6640 W. 167TH ST.  
 TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
**EQUIPMENT ENCLOSURE ELEVATIONS**

SHEET NUMBER  
**B-2**

**UTILITY NOTES:**

**WORK INCLUDES:**

THESE NOTES AND ACCOMPANYING DRAWINGS COMPLEMENT THE PROVISIONS AND INSTALLATIONS BY THE ELECTRICAL CONTRACTOR, OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO INSTALL THE ELECTRICAL WORK COMPLETE IN CONNECTION WITH THIS VERIZON WIRELESS SITE AND SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

1. THE PROVISIONS, INSTALLATION, AND CONNECTION OF A GROUNDING ELECTRODE SYSTEM COMPLETE WITH A BUILDING AND SECONDARY GROUNDING, CELLULAR TELEPHONE COMMUNICATIONS TOWER AND CONNECTIONS TO THE INCOMING ELECTRICAL DISTRIBUTION EQUIPMENT.
2. THE PROVISION AND INSTALLATION OF AN OVERHEAD ELECTRICAL SERVICE OR UNDERGROUND ELECTRICAL SERVICE AND ALL ASSOCIATED WIRE AND CONDUIT AS REQUIRED AND/OR INDICATED ON PLANS.
3. THE PROVISION, INSTALLATION OF CONDUIT AND CONNECTIONS FOR LOCAL TELEPHONE SERVICE.
4. THE FURNISHING AND INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE CONDUCTORS, CONDUITS, METER SOCKET, AND CONNECTIONS TO THE SERVICE EQUIPMENT WITHIN THE ENCLOSURE.
5. TWO INCH (2") AND THREE INCH (3") DIAMETER PVC CONDUITS SCHEDULE 40.
6. ALL PVC CONDUITS SHOULD BE LEFT WITH NYLON PULL CORD FOR FUTURE USE.
7. EXCAVATION, TRENCHING, AND BACKFILLING FOR CONDUIT(S), CABLE(S), AND EXTERNAL GROUNDING SYSTEM.

**CODES, PERMITS, AND FEES:**

1. ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS SHALL BE SECURED AND ALL FEES FOR SAME PAID BY CONTRACTOR.
2. THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES: STATE, LOCAL AND NATIONAL, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING AUTHORITIES:

N.E.C.	NATIONAL ELECTRIC CODE
A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE
I.E.E.E.	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS
N.E.M.A.	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
U.L.	UNDERWRITERS LABORATORIES, INC.
N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION

**RACEWAYS AND WIRING:**

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING. PROVIDE JUNCTION AND PULLBOXES FOR CONDUIT RUNS WITH MORE THAN (360) DEGREES OF BENDS.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.
6. ELECTRICAL PANELBOARD SHALL BE FURNISHED AND INSTALLED BY OTHERS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION.
7. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.

**GENERAL NOTES:**

SEE DETAILS AND SCHEDULES ON DRAWINGS AND SPECIFICATIONS FOR MEANING OF ABBREVIATIONS AND ADDITIONAL REQUIREMENTS AND INFORMATION. CHECK ARCHITECTURAL, STRUCTURAL AND OTHER MECHANICAL AND ELECTRICAL DRAWINGS FOR SCALE, SPACE LIMITATIONS, COORDINATION, AND ADDITIONAL INFORMATION, ETC. REPORT ANY DISCREPANCIES, CONFLICTS, ETC. TO ENGINEER BEFORE SUBMITTING BID. ALL EQUIPMENT FURNISHED BY OTHERS (FBO) SHALL BE PROVIDED WITH PROPER MOTOR STARTERS, DISCONNECTS, CONTROLS, ETC. BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL INSTALL AND COMPLETELY WIRE ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WIRE DIAGRAMS AND AS REQUIRED FOR A COMPLETE OPERATING INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF (FBO) EQUIPMENT PRIOR TO ROUGH-IN OF CONDUIT AND WIRING TO AVOID CONFLICTS.

**COORDINATION WITH UTILITY COMPANY:**

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANY FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS, IF REQUIRED, METER SOCKETS, PRIMARY CABLE RACEWAY REQUIREMENTS, SECONDARY SERVICE, ETC. PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN THE BID ANY OPTIONAL OR EXCESS FACILITY CHARGES ASSOCIATED WITH PROVIDING ELECTRICAL SERVICE FROM LOCAL UTILITY COMPANY. VERIFY BEFORE BIDDING TO INCLUDE ALL COSTS. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE AVAILABLE FAULT CURRENT WITH THE LOCAL UTILITY COMPANY PRIOR TO SUBMITTING BID. ADJUST A.I.C. RATINGS OF ALL OVER CURRENT PROTECTION DEVICES IN DISTRIBUTION EQUIPMENT AS REQUIRED TO COORDINATE WITH AVAILABLE FAULT CURRENT FROM LOCAL UTILITY COMPANY. ALL GROUNDING RODS PROVIDED BY THE POWER OR TELEPHONE UTILITY COMPANIES MUST BE TIED INTO THE MAIN EXTERNAL GROUND RING.

**UTILITY CONTACTS:**

POWER: COMED

FIBER: AT&T  
JAMES DELLAMANO  
815-727-8017

LEONARD ANDERSON  
708-235-2346

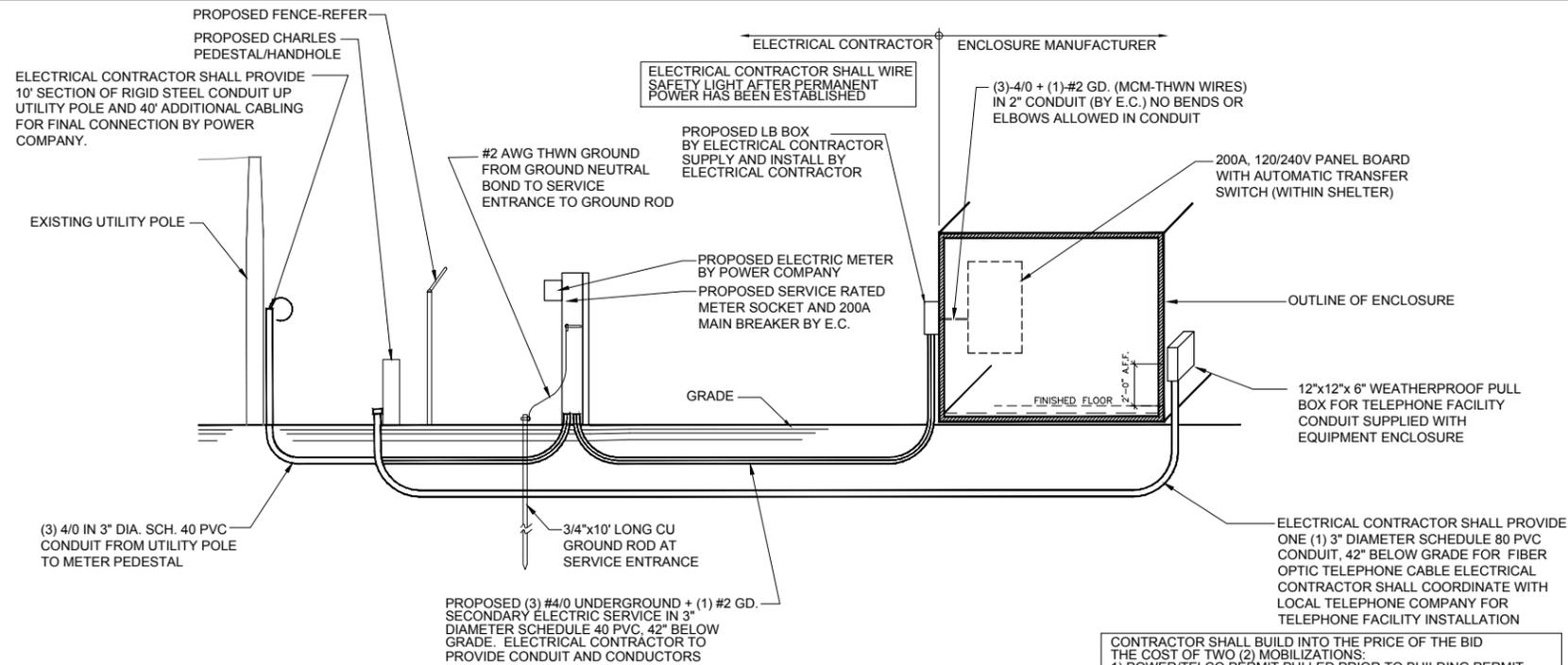
FOR CONTINUATION AND CONNECTION OF ELECTRIC AND TELEPHONE SERVICE. COORDINATE WITH ELECTRIC AND PHONE COMPANY

ELECTRICAL CONTRACTOR SHALL COORDINATE WITH POWER COMPANY FOR ENTRY INTO FENCED AREA BY EITHER MAILING A KEY TO A SLAVE LOCKED CHAIN AT THE FENCE GATE OR CALLING AND LEAVING A COMBINATION.

OPERATES 24 HOURS  
A DAY 365 DAYS A YEAR



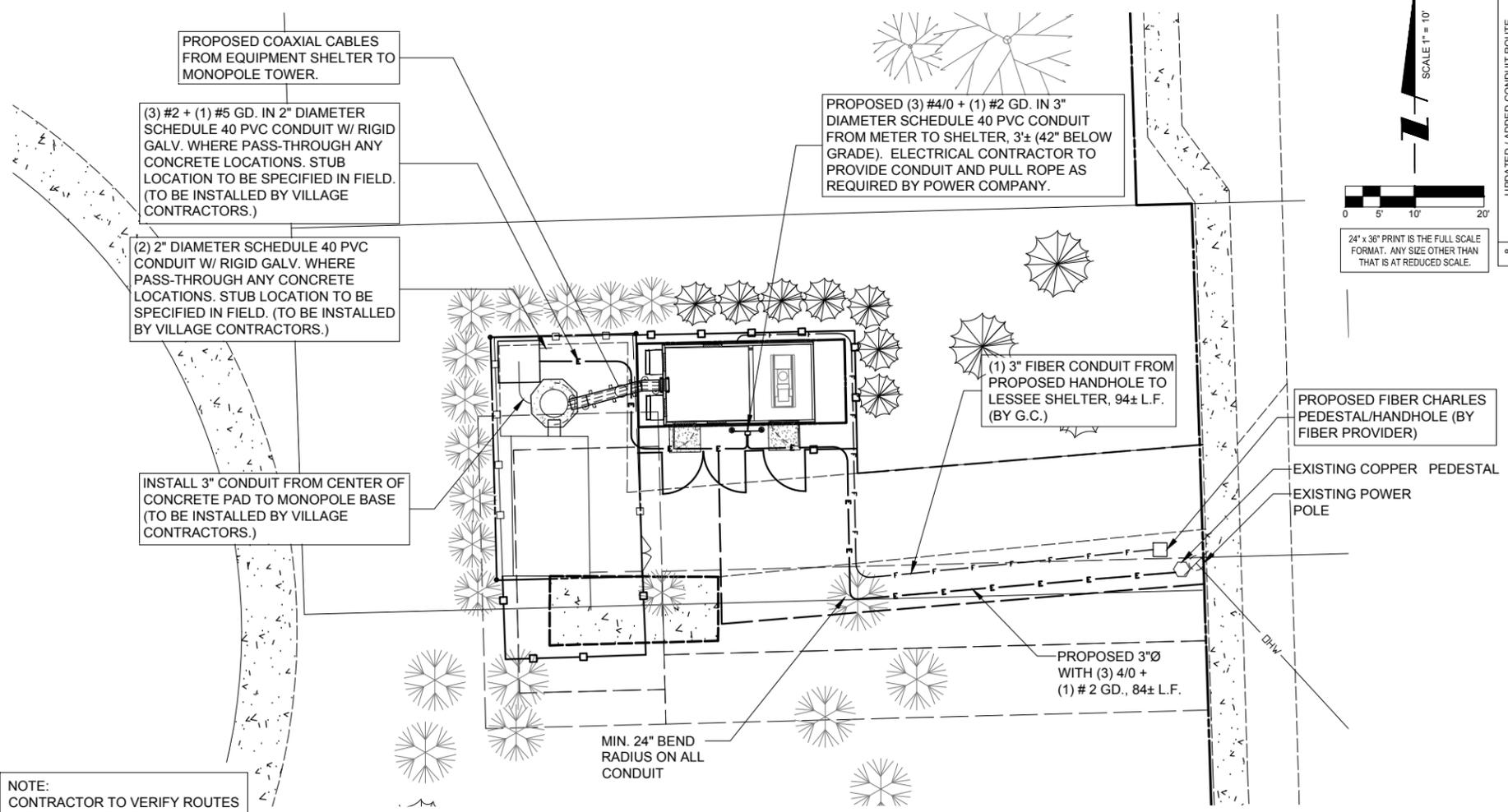
CALL JULIE TOLL FREE  
1(800) 892-0123  
48 HOURS BEFORE  
YOU DIG



**ELECTRICAL RISER DIAGRAM**

NOTE: VERIFY TELEPHONE ROUTING REQUIREMENTS WITH LOCAL TELEPHONE COMPANY

2 ELECTRICAL RISER DIAGRAM  
SCALE: N.T.S.



NOTE:  
CONTRACTOR TO VERIFY ROUTES WITH LOCAL UTILITY COMPANY PRIOR TO INSTALLATION.

1 SITE UTILITY ROUTING PLAN  
SCALE: 1" = 10'

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
2	ISSUED FOR REVIEW	11/05/14	JJR
3	UPDATE TOWER OWNER INFORMATION	11/17/14	JJR
4	ISSUED FOR PERMITTING	12/08/14	JJR
5	UPDATE TOWER HEIGHT / ANTENNAS	01/28/15	JJR
6	UPDATE PER FIBER COORDINATION	02/20/15	MT
7	UPDATE PER COMMENTS	03/09/15	JJR

NO.	DESCRIPTION	DATE	BY
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	JJR
9	REVISED COAX ROUTE	07/02/15	JJR

LOC. 278659  
SBA #IL46494-A

N. TINLEY

6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
UTILITY ROUTING PLAN

SHEET NUMBER  
**E-1**

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



**GROUNDING ELECTRODE SYSTEM NOTES:**

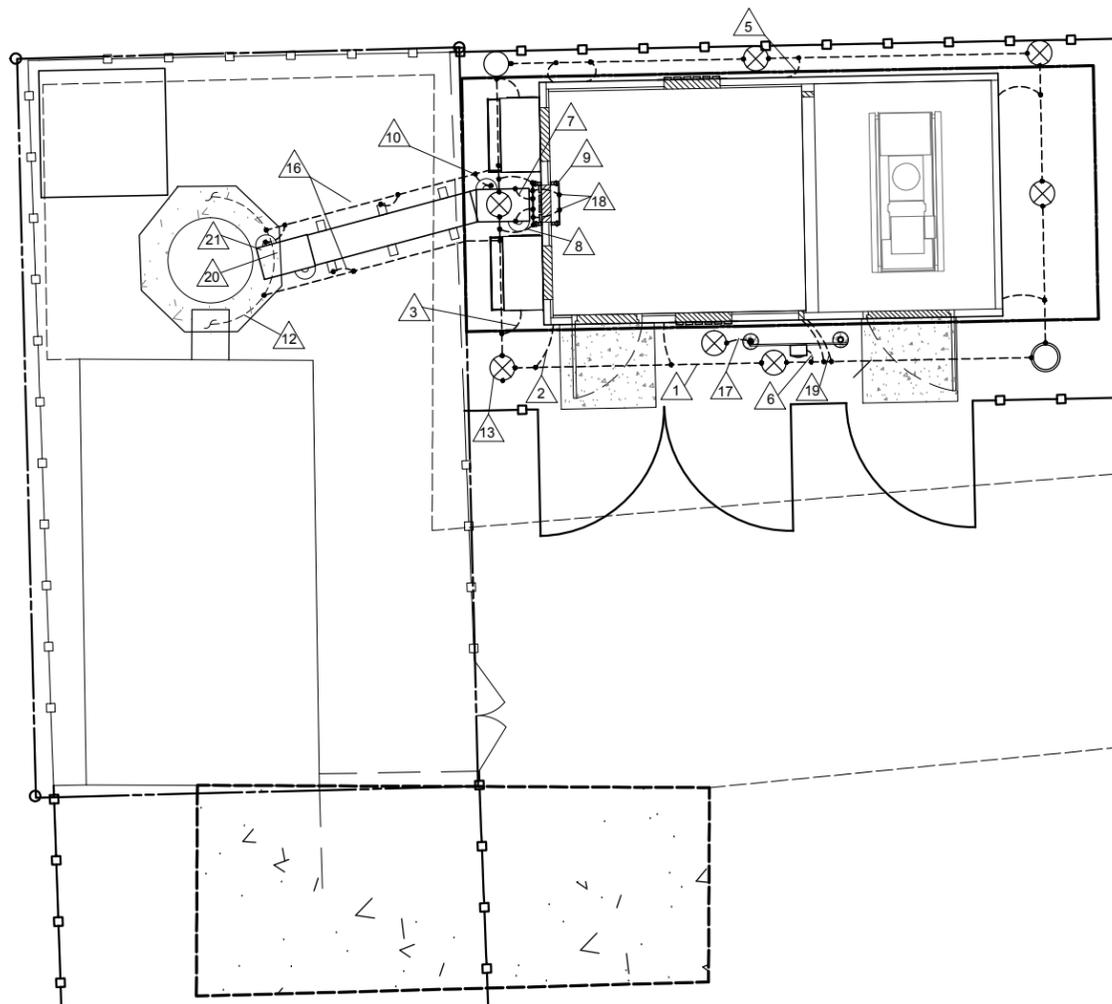
1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION

LEGEND	
SYMBOL	DESCRIPTION
⊗	5/8" DIAMETER X 10'-0" LONG COPPER CLAD GROUND ROD (HARGER-5810)
○	5/8" DIAMETER X 10'-0" LONG COPPER CLAD GROUND ROD WITH INSPECTION WELL
----	#2 AWG TNNI SOLID BARE COPPER WIRE MINIMUM 42" BELOW GRADE (HARGER-L2)
---UE---	UNDERGROUND ELECTRICAL
---UT---	UNDERGROUND TELEPHONE
---F---	UNDERGROUND FIBER
●	EXOTHERMIC WELD
—OE—	OVERHEAD ELECTRICAL SERVICE
—OT—	OVERHEAD TELEPHONE SERVICE

4. FENCE/GATE: GROUND FENCE POSTS WITHIN 6 FEET OF ENCLOSURE AND 25 FEET OF TOWER AS INDICATED ON DRAWINGS. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE EXOTHERMIC PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
5. AFTER INSTALLATION OF THE CANOPY AT THE DOOR, GC/EC IS TO BOND THE CANOPY TO THE DOOR FRAME WITH A #2 CONDUCTOR. USE DOUBLE-LUG CONNECTION. PREP AND PAINT SURFACE TO MATCH AFTER INSTALLATION.
6. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID. THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN THE BID.
7. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY LESSEE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.
8. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
  1. ONE (1) COPY TO OWNER REPRESENTATIVE
  2. ONE (1) COPY TO ENGINEER
  3. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

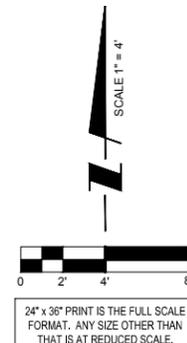
**TYPICAL KEYED GROUNDING NOTES**

1. #2 AWG TNNI SOLID BARE COPPER CONDUCTOR 42" BELOW GRADE (TYPICAL) MINIMUM 24" BENDING RADIUS
2. ENCLOSURE GROUND (TYP.) IN 1/2" DIAMETER SCHEDULE 40 PVC CONDUIT
3. GROUND EQUIPMENT ENCLOSURE HVAC WITH MECHANICAL CLAMP (SEE DETAIL, SHEET E-3)
4. MAINTAIN TWO FOOT DISTANCE OFF OF STRUCTURES.
5. GROUND TELEPHONE SERVICE ENTRANCE (SEE DETAIL, SHEET E-3)
6. ELECTRIC METER AND ELECTRIC SERVICE GROUNDING (SEE DETAIL SHEET E-4), COORDINATE ALTERNATE WITH PM
7. GROUND COAXIAL ANTENNA CABLES TO GROUND BAR BY ANTENNA CONTRACTOR TERMINATE CABLES 1'-0" FROM ENCLOSURE AND INSTALL LIGHTNING SURGE ARRESTORS ON EACH CABLE GROUND.
8. EXOTHERMICALLY WELD COPPER GROUND BAR TAIL TO EXTERIOR HALO GROUND RING (EXOTHERMIC CONNECTION TYPE TA) BY ANTENNA CONTRACTOR. FINAL CONNECTION BY ELECTRICAL CONTRACTOR.
9. 4"x20"x1/4" TNNI INSULATED COPPER GROUND BAR, NON ISOLATED WITH 10.0' LONG #2 AWG TNNI SOLID COPPER WIRE WELDED TAILS (HARGER GBIT 14420VW)
10. GROUND CABLE WAVEGUIDE BRIDGE (TYP.) BY ELECTRICAL CONTRACTOR.
11. GROUND ANTENNA CABLES TO GROUND BAR AT ANTENNA ELEVATION OF TOWER. GROUND BASE GROUND BAR TO GROUND HALO.
12. EXISTING TOWER GROUND RING
13. 5/8" DIAMETER X 10'-0" LONG COPPER CLAD GROUND ROD (HARGER-5810) (SEE DETAIL, SHEET E-3) WITH EXOTHERMIC CONNECTION
14. GROUND CHAIN LINK FENCE (TYPICAL) EXOTHERMIC CONNECTION (TYPE VS) GROUND FENCE POSTS WITHIN 6 FEET OF ENCLOSURE AND 25 FEET OF TOWER. (SEE DETAIL, SHEET E-3.)
15. GATE JUMPERS (SEE DETAIL, SHEET E-4)
16. BOND EXISTING TOWER GROUND RING TO PROPOSED GROUND RING WITH #2 AWG TNNI SOLID COPPER CONDUCTOR IN 2 LOCATIONS.
17. BOND SERVICE DISCONNECT TO GROUND ROD AND EQUIPMENT GROUND RING (SEE DETAIL, SHEET E-4)
18. TWO #2 LEADS FROM THE EGR TO THE MGB LOCATED IN THE SHELTER. CADWELD AT EGR AND DOUBLE HOLE LUGS IN SHELTER.
19. ELECTRIC SERVICE ENTRY GROUND
20. 4"x20"x1/4" TNNI INSULATED COPPER GROUND BAR, NON-ISOLATED, WITH 10.0' LONG #2 AWG TNNI SOLID COPPER WIRE WELDED TAILS (HARGER GBIT 14420VW)
21. GROUND ANTENNA CABLES TO GROUND BAR AT ANTENNA ELEVATION OF TOWER. GROUND BASE GROUND BAR TO GROUND HALO.
22. RE-BAR GROUND (UFER GROUND). #2 FROM BOTTOM RE-BAR TO GROUND RING.



**1 SITE GROUNDING PLAN**  
SCALE: 1" = 4'

NOTE:  
SEE GROUNDING DETAILS  
ON SHEETS E-3 & E-4



REVISED COAX ROUTE		JJR	JJR
8	UPDATED / ADDED COAX ROUTE	07/15/15	
7	REVISED COAX ROUTE	07/02/15	

REVISIONS		BY	DATE
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	UPDATE PER COMMENTS	JJR	

**LOC. 278659**  
**SBA #IL46494-A**

**N. TINLEY**

6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
**SITE GROUNDING PLAN**

SHEET NUMBER  
**E-2**

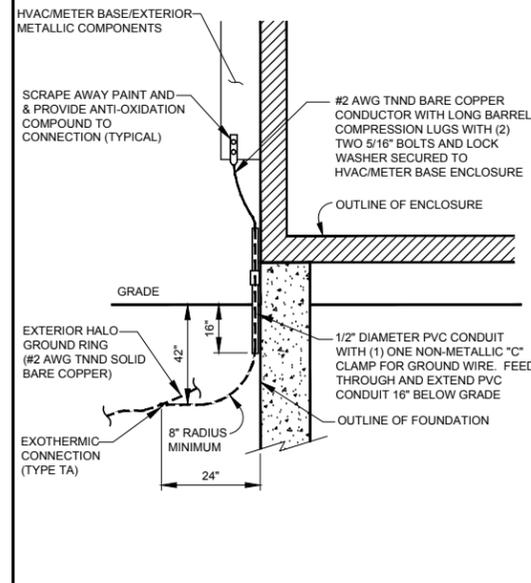
**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



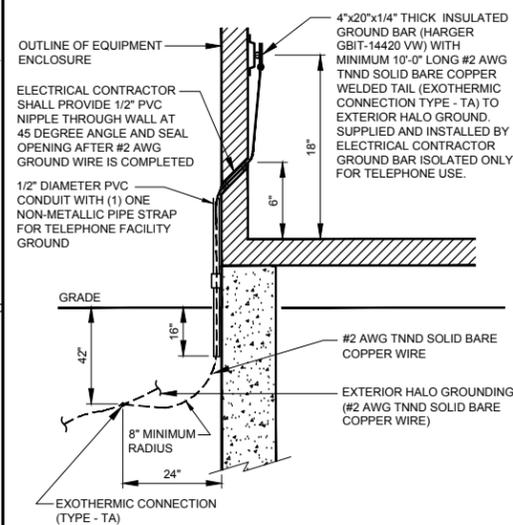
1 NOT USED  
N.T.S.

2 TELEPHONE SERVICE ENTRANCE  
N.T.S.

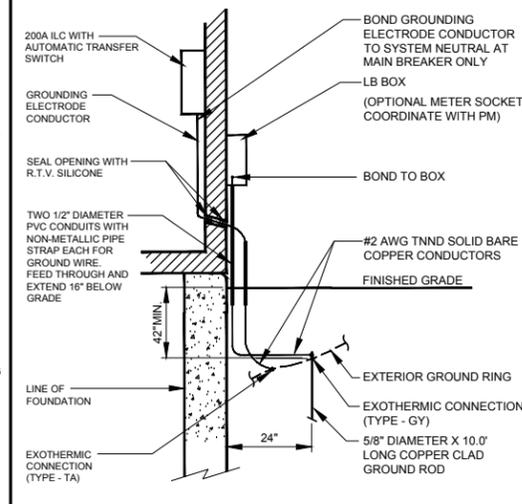
3 UNDERGROUND ELEC. SERVICE DETAIL  
N.T.S.



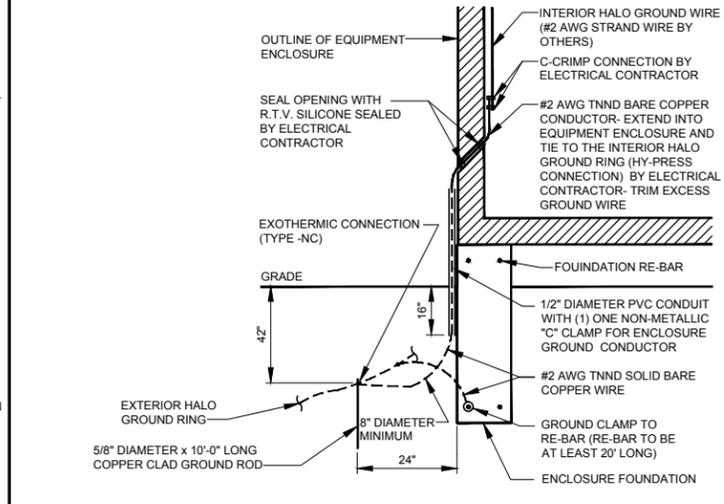
4 HVAC/METER BASE/METALLIC COMPONENTS GROUNDING DETAIL  
N.T.S.



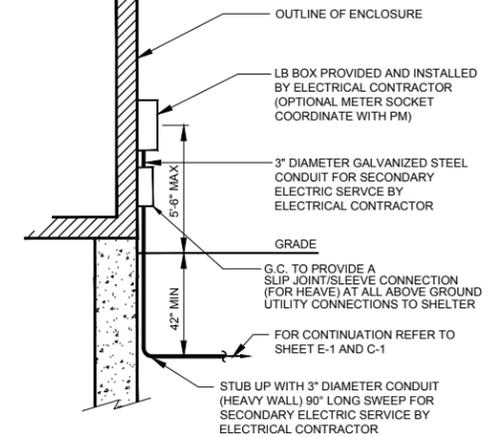
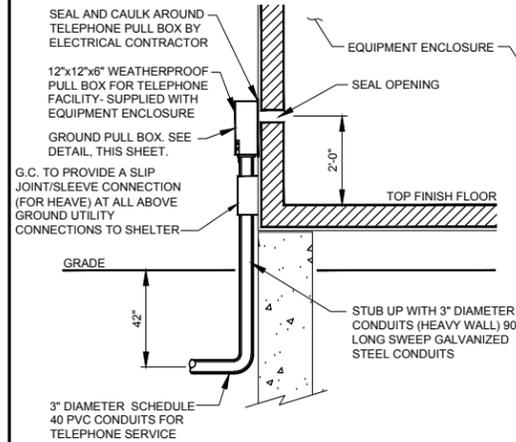
5 TELCO FACILITY GROUND  
N.T.S.



6 ELECTRIC SERVICE GROUNDING DETAIL  
N.T.S.



7 ENCLOSURE GROUNDING DETAIL  
N.T.S.



NO.	DESCRIPTION	DATE	BY
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REVISIONS

LOC. 278659  
SBA #IL46494-A  
  
N. TINLEY  
  
6640 W. 167TH ST.  
TINLEY PARK, IL 60477

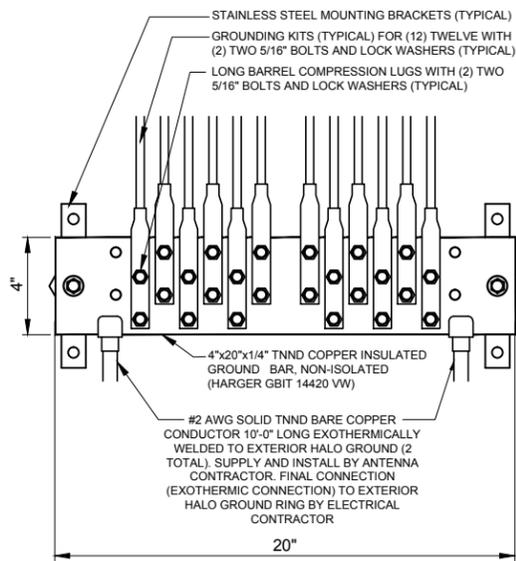
DRAWN BY: BTE  
CHECKED BY: TAZ  
DATE: 09/05/14  
PROJECT #: 76-029

SHEET TITLE  
ELECTRICAL AND GROUNDING DETAILS

SHEET NUMBER  
**E-3**

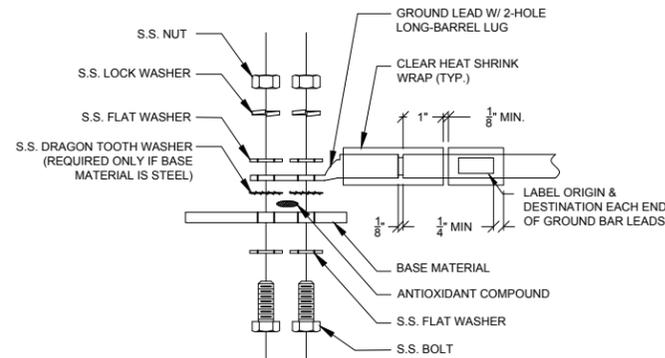
**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
TEL: 847-599-5400  
FAX: 847-599-5401

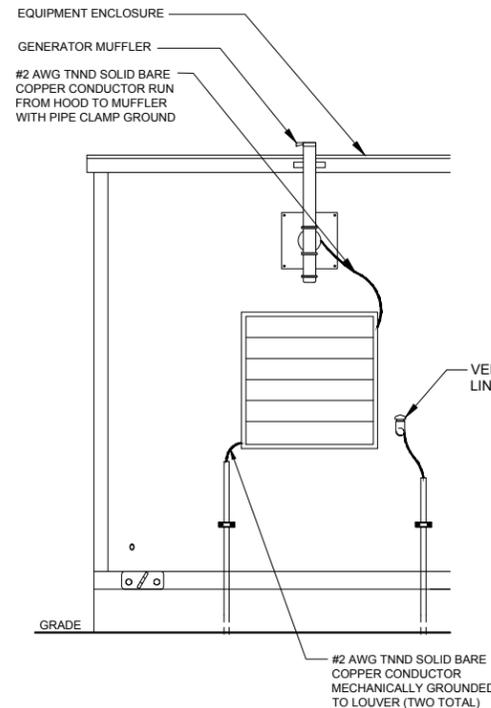


1 EXTERIOR GROUND BAR DETAIL  
N.T.S.

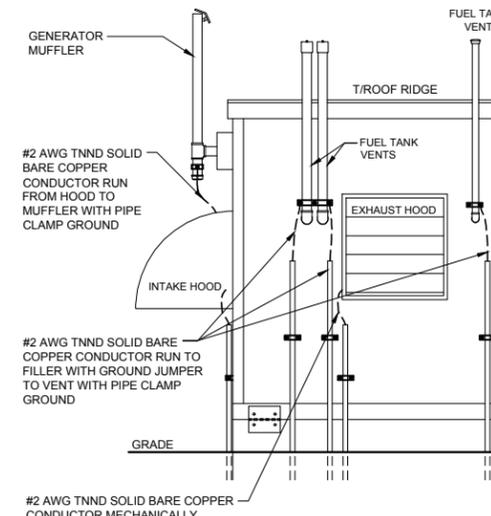
- NOTES:  
 1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLEVILLES. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.  
 2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH KOPR-SHIELD.  
 3. GROUND BARS, INSTALL BOLT HEAD TOWARD WALL  
 4. ENCLOSURES, INSTALL BOLT HEAD ON OUTSIDE OF ENCLOSURE



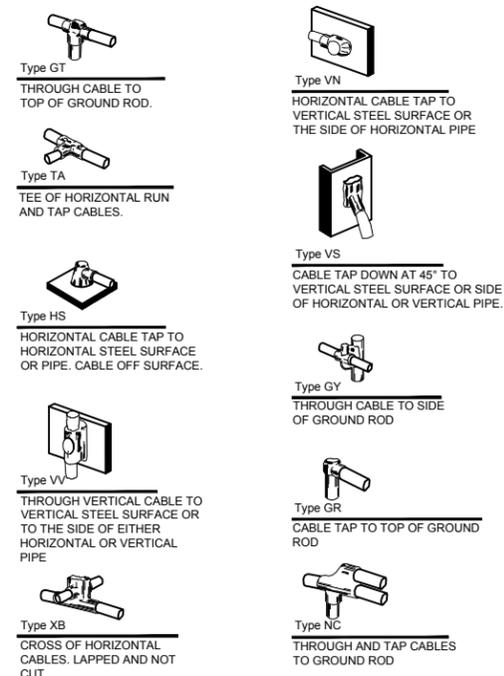
2 GROUND LIG INSTALLATION DETAIL  
N.T.S.



3 EQUIPMENT ENCLOSURE GROUNDING  
N.T.S.

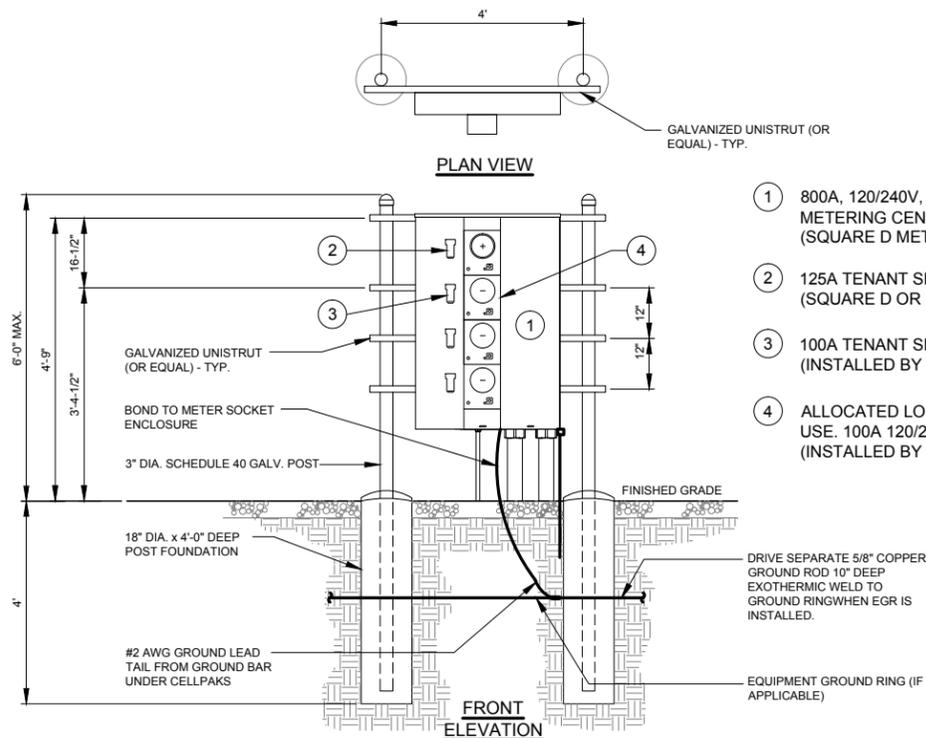


4 EQUIPMENT ENCLOSURE GROUNDING  
N.T.S.



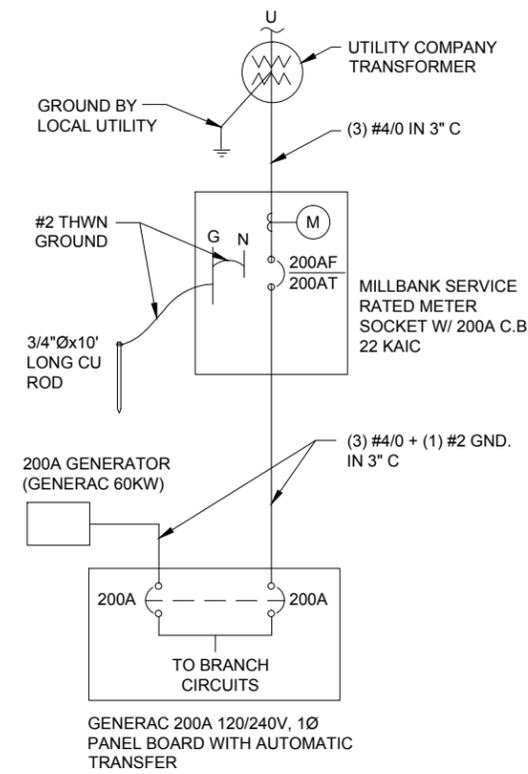
5 EXOTHERMIC WELD DETAILS  
EXOTHERMIC AND HARGER ULTRAWELD OR APPROVED EQUAL

NOTE:  
 CONTRACTOR SHALL PROVIDE UNDERGROUND APPROVED 25 PAIR CABLE. AWG #22 INSTALLED 5' INTO JUNCTION BOX AND 10' INTO ENCLOSURE. CONTRACTOR SHALL NOT TERMINATE CABLE.



6 H-FRAME WITH METER / TELCO BOXES  
N.T.S.

- 800A, 120/240V, 1 PHASE, 3 WIRE, 4 POSITION METERING CENTER (200A MAX CIRCUIT BREAKER) (SQUARE D METER PAK OR EQUAL)
- 125A TENANT SERVICE DISCONNECT (SQUARE D OR EQUAL)
- 100A TENANT SERVICE DISCONNECT BREAKER (INSTALLED BY VILLAGE CONTRACTOR)
- ALLOCATED LOCATION SPECIFIED FOR VILLAGE USE. 100A 120/240V, 1 PHASE 3 WIRE. (INSTALLED BY VILLAGE CONTRACTOR)



7 SINGLE LINE DIAGRAM  
N.T.S.

NO.	DESCRIPTION	DATE	BY
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	JJR
7	REVISED COAX ROUTE	07/02/15	JJR

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
2	ISSUED FOR REVIEW	11/05/14	JJR
3	UPDATE TOWER OWNER INFORMATION	11/17/14	JJR
4	ISSUED FOR PERMITTING	12/08/14	JJR
5	UPDATE TOWER HEIGHT / ANTENNAS	01/28/15	JJR
6	UPDATE PER FIBER COORDINATION	02/20/15	MT
6	UPDATE PER COMMENTS	03/09/15	JJR

LOC. 278659  
 SBA #IL46494-A  
 N. TINLEY  
 6640 W. 167TH ST.  
 TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
 ELECTRICAL AND  
 GROUNDING DETAILS  
 SHEET NUMBER  
**E-4**

**CHICAGO SMSA**  
 limited partnership  
 d/b/a VERIZON WIRELESS

**TERRA**  
 600 BUSSE HIGHWAY  
 PARK RIDGE, IL 60068  
 PH: 847-599-5400  
 FAX: 847-599-5401

**GENERAL**

THE CONSTRUCTION DOCUMENT DRAWINGS ARE INTERRELATED. WHEN PERFORMING THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

**DIVISION 1: GENERAL REQUIREMENTS**  
**SECTION 01700 - PROJECT CLOSEOUT**

**PART 1 - GENERAL**

- A. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES AND SIMILAR RELEASES.
- B. SUBMIT RECORD DRAWINGS, DAMAGE OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND SIMILAR FINAL RECORD INFORMATION.
- C. COMPLETE FINAL CLEAN UP REQUIREMENTS, INCLUDING TOUCH-UP PAINTING. TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES.

**PART 2 - FINAL CLEANING**

- 1. COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF COMPLETION.
  - A. CLEAN THE PROJECT SITE, YARD AND GROUNDS, IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT AREAS, OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS, RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED, TO A SMOOTH EVEN-TEXTURED SURFACE.
  - B. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIAL FROM THE SITE.
  - C. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT ENCLOSURES.
  - D. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.
  - E. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT ENCLOSURE, MANHOLES, AND SIMILAR SPACES.
  - F. REMOVE LABELS THAT ARE NOT PERMANENT LABELS.
  - G. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.
  - H. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY.
  - I. DUST-OFF ALL EQUIPMENT, INCLUDING BATTERY PACKS, WITHIN EQUIPMENT ENCLOSURE.
  - J. WASH AND WAX FLOOR WITHIN EQUIPMENT ENCLOSURE.
- 2. REMOVAL OF PROTECTION: REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.

**DIVISION 2: SITE WORK**  
**SECTION 02200 - EARTHWORK AND DRAINAGE**

**PART 1 - GENERAL**

- 1. WORK INCLUDED: SEE SITE PLAN.
- 2. DESCRIPTIONS  
ACCESS DRIVE W/ TURNAROUND AREA, LEASE AREA, AND IF APPLICABLE UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.
- 3. QUALITY ASSURANCE
  - A. APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
  - B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
  - C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.
- 4. SEQUENCING
  - A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.
  - B. COMPLETELY GRUB THE ACCESS DRIVE W/ TURNAROUND, UNDERGROUND UTILITY EASEMENTS, (IF APPLICABLE) AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
  - C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
  - D. BRING THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
  - E. APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS.
  - F. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
  - G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY PROJECT MANAGER.
  - H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO STONE SURFACES.
- 5. SUBMITTALS
  - A. BEFORE CONSTRUCTION  
IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD, IF A LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD (REFER TO PLANS FOR LANDSCAPING REQUIREMENTS).
  - B. AFTER CONSTRUCTION
    - 1. MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZED.
    - 2. MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER
    - 3. LANDSCAPING WARRANTY STATEMENT.
- 6. WARRANTY
  - A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE AT SITE AND SURROUNDINGS.
  - B. SOIL STERILIZATION APPLICATION TO GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
  - C. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.
  - D. LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

**PART 2 - PRODUCTS**

- 1. MATERIALS
  - A. SOIL STERILIZER SHALL BE EPA-REGISTERED, PRE-EMERGENCE LIQUID:

TOTAL KILL  
PRODUCT 910  
EPA 10292-7

AMBUSH HERBICIDE  
EPA REGISTERED

PHASAR CORPORATION  
P.O. BOX 5123  
DEARBORN, MI 48128  
(313) 563-8000

FRAMAR INDUSTRIAL PRODUCTS  
1435 MORRIS AVE.  
UNION, NJ 07083  
(800) 526-4924

- B. ROAD AND SITE MATERIALS SHALL CONFORM TO IDOT SPECIFICATIONS FILL MATERIAL (UNLESS OTHERWISE NOTED) - ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS..
- C. SOIL STABILIZER FABRIC SHALL BE MIRAFI - 500X.

**PART 3 - EXECUTION**

- 1. INSPECTIONS  
LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.
- 2. PREPARATION
  - A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE W/ TURN-AROUND AND UNDER GROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION.
  - B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX INCHES (6") BELOW GRADE.
  - C. UNLESS OTHERWISE INSTRUCTED BY LESSEE, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
  - D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
  - E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
- 3. INSTALLATION
  - A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
  - B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
  - C. BRING THE ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
  - D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
  - E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE INDICATED.
  - F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
  - G. PLACE FILL OR STONE IN SIX INCH (6") MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
  - H. THE TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE FOOT (1') BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.
  - I. APPLY RIPRAP TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND ALL OTHER SLOPES GREATER THAN 2:1.
  - J. APPLY RIPRAP TO THE SIDES OF DITCHES OR DRAINAGE SWALES.
  - K. RIPRAP ENTIRE DITCH FOR SIX FEET (6') IN ALL DIRECTIONS AT CULVERT OPENINGS.
  - L. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAPPED.
  - M. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.
  - N. IN DITCHES WITH SLOPES GREATER THAN 10%, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAN 60° OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET (6') ABOVE THE CULVERT ENTRANCE.
  - O. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
  - P. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
  - Q. ENSURE GROWTH OF SEEDED AND LANDSCAPED AREAS, BY WATERING, UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.
- 4. FIELD QUALITY CONTROL  
COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.
- 5. PROTECTION
  - A. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.
  - B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTED WIRE, AND SECURED TO 2" X 2" X 4'-0" WOODEN STAKES EXTENDING TWO- FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
  - C. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS. WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE, STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

**SECTION 02830 - FENCING AND GATE(S)**

**PART 1 - GENERAL**

- 1. WORK INCLUDED  
SEE PLAN FOR SITE AND LOCATION OF FENCE AND GATE(S).
- 2. QUALITY ASSURANCE  
ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 12 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE 'E' ZINC, 18 OUNCES PER SQUARE FOOT.
- 3. SEQUENCING  
IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.

**4. SUBMITTALS**

- A. MANUFACTURER'S DESCRIPTIVE LITERATURE.
- B. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

**PART 2 - PRODUCTS**

- 1. FENCE MATERIAL
  - A. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
  - B. FABRIC SHALL BE SEVEN-FOOT (7') HIGH OR TO MATCH EXISTING FENCE TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.
  - C. BARBED WIRE SHALL BE DOUBLE-STRAND, 12-1/2 GAUGE TWISTED WIRE, WITH 14-GAUGE, 4-POINT ROUND BARBS SPACED ON FIVE-INCH CENTERS.
  - D. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-128 AND OF THE FOLLOWING DIAMETER
    - LINE 2" SCHEDULE 40 (2 3/8" O.D.)
    - CORNER 3" SCHEDULE 40 (3 1/2" O.D.)
    - GATE 3" SCHEDULE 40 (3 1/2" O.D.)
  - E. GATE POSTS SHALL BE EXTENDED 12 INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.
  - F. ALL TOP AND BRACE RAILS SHALL BE 1/2 DIAMETER SCHEDULE - 40 MECHANICAL-SERVICE PIPE.
  - G. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL-SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
  - H. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
  - I. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 188-DEGREE ATTACHMENT.
  - J. THE GUIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH. SEE DETAIL.
  - K. LATCHES AND STOPS SHALL BE PROVIDED FOR ALL GATES.
  - L. PLUNGER ROD COMPLETE WITH RECEPTOR TO BE PROVIDED AT THE INACTIVE LEAF OF ALL DOUBLE GATE INSTALLATIONS.
  - M. ALL STOPS SHALL HAVE KEEPERS CAPABLE OF HOLDING THE GATE LEAF IN THE OPEN POSITION
  - N. A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
  - O. A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.
  - P. STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
  - Q. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH TURNBUCKLES.
  - R. ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
  - S. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO TIE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
  - T. BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS.
  - U. BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET BOLT AND LOCK WIRE IN THE ARM.
  - V. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.
  - W. WHERE THE USE OF CONCERTINA HAS BEEN SPECIFIED, 24-INCH DIAMETERS COIL BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL GBP TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL BY USE OF SIX(6) WIRE BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.

**PART 3 - EXECUTION**

- 1. INSPECTION  
TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS.
- 2. INSTALLATION
  - A. FOUNDATIONS SHALL HAVE A MINIMUM SIX INCH (6") CONCRETE COVER UNDER POST.
  - B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB ; ONE QUARTER INCH (1/4")
  - C. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN(15) INCH INTERVALS.
  - D. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN INCH (15") INTERVALS.
  - E. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO FOOT (2') INTERVALS.
  - F. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN THE CHAIN LINE FABRIC AND THE FINAL GRADE.
  - G. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
  - H. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.
  - I. CONCRETE TO BE A MINIMUM OF 4,000 PSI AT 7 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.
- 3. PROTECTION  
UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL.  
APPLICABLE STANDARDS
  - ASTM-A120 SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
  - ASTM-A123 ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
  - ASTM-A153 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
  - ASTM-A392 SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
  - ASTM-A491 SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
  - ASTM-A525 STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.

- ASTM-A570 SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP. STRUCTURAL QUALITY.
- ASTM-A535 SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE.
- FEDERAL SPECIFICATION RR-F-191- FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)

**DIVISION 3: CONCRETE**

**SECTION 03000 - BASIC CONCRETE MATERIALS AND METHODS**

**PART 1 - GENERAL**

- 1. WORK INCLUDED  
FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.
- 2. INSPECTIONS
  - A. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR HIS SCOPE OF WORK.
  - B. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE LESSEE'S CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.
  - C. THE LESSEE'S CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.
- 3. QUALITY ASSURANCE
  - A. CONSTRUCT AND ERECT CONCRETE FORMWORK IN ACCORDANCE WITH ACI 301 AND ACI 318.
  - B. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.
  - C. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-90.
  - D. OPEN FOUNDATION TRENCHES SHALL BE INSPECTED BY MES PRIOR TO CONCRETE INSTALLATION.
- 4. SUBMITTALS  
SUBMIT CONCRETE MIX AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY LESSEE CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWINGS SHALL BE SUBMITTED IN THE FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR REINFORCING STEEL.

**PART 2 - PRODUCTS**

- 1. REINFORCEMENT MATERIALS
  - A. REINFORCEMENT STEEL, ASTM A615, 60 ksi YIELD GRADE, DEFORMED BILLET STEEL BARS, PLAIN FINISH.
  - B. WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE, IN FLAT SHEETS, PLAIN FINISH.
  - C. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS. SIZED AND SHAPED FOR SUPPORTS OF REINFORCING.
  - D. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, ACI 318, ASTM A184
- 2. CONCRETE MATERIALS
  - A. CEMENT: ASTM C150, PORTLAND TYPE
  - B. FINE AND COURSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED ; ONE INCH (1") SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD (1/3) CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
  - C. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE
  - D. AIR ENTRAINING ADMIXTURE: ASTM C260
  - E. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.
  - F. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICISING AGENTS.
- 3. CONCRETE MIX
  - A. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
  - B. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.
  - C. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:
    - 1. COMPRESSIVE STRENGTH: 4000 psi AT 7 DAYS. SEE SHEET S-1 FOR CAISSON CONCRETE COMPRESSIVE STRENGTH
    - 2. SLUMP: 3 INCHES

**PART 3 - EXECUTION**

- 1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS
  - A. THE CONTRACTOR SHALL COORDINATE AND CROSS-CHECK ARCHITECTURAL, BUILDING & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.
  - B. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.
  - C. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENING, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
  - D. INSTALL CONCRETE ACCESSORIES STRAIGHT, LEVEL AND PLUMB.
- 2. REINFORCEMENT PLACEMENT
  - A. PLACE REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.
  - B. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS.
  - C. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
  - D. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE THREE INCHES (3") UNLESS OTHERWISE NOTED.
  - E. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED THREE INCHES (3") NOR BE LESS THAN TWO INCHES (2").
- 3. PLACING CONCRETE
  - A. VIBRATE ALL CONCRETE.
  - B. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WINTER POURING AND CURING PROCEDURES IF SEASONAL CONDITIONS APPLY
- 4. CURING
  - A. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.
  - B. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.
- 5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL FORMED CONCRETE SURFACES.
- 6. FIELD QUALITY CONTROL
  - A. SUBMIT THREE (3) CONCRETE TEST CYLINDERS - TAKEN FOR EVERY 15 CUBIC YARD OR LESS. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH ASTM C-31 AND C-39.
  - B. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER - TAKEN DURING COLD WEATHER POURS, AND CURED ON JOB SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.
  - C. SUBMIT ONE (1) SLUMP TEST - TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.
- 7. DEFECTIVE CONCRETE  
MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED LINES, DETAILS OR ELEVATIONS AT COST OF GC, AS DIRECTED BY ARCHITECT/ENGINEER.

8	7	UPDATED / ADDED CONDUIT ROUTE	JUR	07/15/15	JUR	07/02/15
REVISED COAX ROUTE						
REVISIONS						
NO	DESCRIPTION	DATE	BY	BTE	JUR	JUR
1	ISSUED FOR REVIEW	09/05/14	JUR			
2	ISSUED FOR REVIEW	11/05/14	JUR			
3	UPDATE TOWER OWNER INFORMATION	11/17/14	JUR			
4	ISSUED FOR PERMITTING	12/08/14	JUR			
5	UPDATE TOWER HEIGHT / ANTENNAS	01/28/15	JUR			
6	UPDATE PER FIBER COORDINATION	02/20/15	MT			
	UPDATE PER COMMENTS	03/09/15	JUR			

**LOC. 278659**  
**SBA #IL46494-A**

**N. TINLEY**

**6640 W. 167TH ST.**  
**TINLEY PARK, IL 60477**

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
**SPECIFICATIONS**

SHEET NUMBER  
**SP-1**

**CHICAGO SMSA**  
*limited partnership*  
dba VERIZON WIRELESS



DIVISION 5: METALS

SECTION 05000 - METALS

PART 1 - GENERAL

- SECTION INCLUDES:  
STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS AND GROUTING UNDER BASE PLATES.
- SUBMITTALS:  
SHOP DRAWINGS: INDICATE SIZES, SPACING, AND LOCATIONS OF STRUCTURAL MEMBERS, OPENINGS, CONNECTIONS, CAMBERS, LOADS, AND WELDED SECTIONS.
- QUALITY ASSURANCE
  - FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
  - PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 - PRODUCTS

- MATERIALS:
  - STRUCTURAL STEEL MEMBERS: ASTM A572, GRADE 50
  - STRUCTURAL TUBING: ASTM A500, GRADE B
  - PIPE: ASTM A53, TYPE E OR S, GRADE B
  - BOLTS, NUTS, AND WASHERS: ASTM A325
  - ANCHOR BOLTS: ASTM A307
  - WELDING MATERIALS: AWS D1.1, TYPE REQUIRED FOR MATERIALS BEING WELDED
  - GROUT: NON-SHRINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7000 psi AT 28 DAYS.
  - SHOP AND TOUCH-UP PRIMER: SSPC 15, TYPE 1, RED OXIDE
  - TOUCH-UP PRIMER FOR GALV. SURFACES: ZINC RICH TYPE
- FABRICATION:  
CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINUOUS WELDS. GRIND EXPOSED WELDS SMOOTH.
- FINISH:
  - PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH SSPC SP-1 TO SP-10 PROCEDURES.
  - STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 - EXECUTION

- EXAMINATION AND PREPARATION:  
VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE.
- ERECTION:
  - ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.
  - FIELD WELD COMPONENTS INDICATED ON SHOP DRAWINGS.
  - DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
  - AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRIMED OR GALVANIZED WITH TOUCH-UP PRIMERS AS SPECIFIED UNDER SECTION 05000-METALS, PART 2 - PRODUCTS, H & I. SURFACES TO BE IN CONTACT WITH CONCRETE NOT INCLUDED.
- FIELD QUALITY CONTROL:  
FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS AND TORQUING.

DIVISION 16: ELECTRICAL

SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS

- CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND STARTING THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ANY DISCREPANCIES OR CONFLICTING INFORMATION.
- ELECTRICAL PLANS, DETAILS AND DIAGRAMS ARE DIAGRAMMATIC ONLY. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, JUNCTION BOX, SWITCH BOX, ETC. THE TYPE OF TAGGING METHODS SHALL BE IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.).
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "J" WHERE APPLICABLE. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NBFU AND "UL" LISTED.
- ALL CONDUIT SHALL HAVE A PULL CORD.
- PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY UBC, NEC AND ALL APPLICABLE CODES.
- PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS. WEATHERPROOF RECEPTACLES SHALL HAVE SIERRA #WPD-8 LIFT COVERPLATES.

SECTION 16400 - SERVICE AND DISTRIBUTION

- WIRE AND CABLE CONDUCTORS SHALL BE COPPER, 600V, TYPE THHN OR THWN, WITH A MIN. SIZE OF #12 AWG, COLOR CODED. ALL RECTIFIER DROPS SHALL BE STRANDED TO ACCEPT CRIMP CONNECTORS.
- ALL CHEMICAL GROUND RODS SHALL BE "UL" APPROVED.
- METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS. MANUFACTURED BY MILBANK OR APPROVED EQUAL, AND SHALL BE UTILITY COMPANY APPROVED.
- CONDUIT:
  - RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
  - ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL, FITTING SHALL BE GLAND RING COMPRESSION TYPE.
  - FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE. ALL FLEXIBLE CONDUITS SHALL HAVE FULL LENGTH GROUND WIRE.
  - ALL UNDERGROUND CONDUIT SHALL BE AS NOTED ON THE DRAWINGS AT A MINIMUM DEPTH OF 42" BELOW GRADE. IT IS REQUIRED AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO NOTIFY J.U.L.I.E. AT 1-800-892-0123 OR OTHER SUCH NOTIFYING AGENCY FORTY-EIGHT (48) HOURS PRIOR TO DIGGING.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.
- ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS WITH WHITE ON BLUE BACKGROUND LETTERING (MINIMUM LETTER HEIGHT SHALL BE ONE FORTH INCH (1/4"). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS, NOT ADHESIVE.
- UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS BY AN INDEPENDENT TESTING SERVICE ENGAGED BY THE CONTRACTOR SHALL BE SUBMITTED FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
- GROUNDING ELECTRODE SYSTEM
  - PREPARATION
    - SURFACE PREPARATION:  
ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUNDED. ALL CONNECTIONS ARE TO HAVE A NON-OXIDIZING AGENT APPLIED PRIOR TO INSTALLATION.
    - GROUND BAR PREPARATION:  
ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.
    - SLEEVES:  
ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH WALLS, FLOORS OR CEILINGS. IF CONDUCTORS MUST RUN THROUGH EMT, BOTH ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.
  - GROUND BARS
    - ALL GROUND BARS SHALL BE ONE FORTH INCH (1/4") THICK TINNED COPPER PLATE AND OF SIZE INDICATED ON DRAWINGS.
    - ALL CONNECTIONS TO THE GROUND BAR SHALL OBSERVE THE FOLLOWING SEQUENCE:
      - BOLT-HEAD
      - 2-HOLE LUG
      - TINNED COPPER BUSS BAR
      - STAR WASHER
      - NUT
  - EXTERNAL CONNECTIONS
    - ALL BURIED GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEES, CROSSES, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPLICES AND LIGHTNING PROTECTION SYSTEMS ARE TO BE AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" AND INSTALLED PER MANUFACTURER'S RECOMMENDED PROCEDURES.
    - ALL ABOVE GRADE GROUNDING AND BONDING CONDUCTORS SHALL BE CONNECTED BY TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS (EXCEPT FOR THE ACEG AND GROUND ROD) MECHANICAL CONNECTIONS, FITTINGS OR CONNECTIONS THAT DEPEND SOLELY ON SOLDER SHALL NOT BE USED. ALL CABLE TO CABLE CONNECTIONS SHALL BE HIGH PRESSURE DOUBLE CRIMP TYPE CONNECTIONS. CONNECTIONS TO STRUCTURAL STEEL SHALL BE EXOTHERMIC WELDS.
  - GROUND RODS
    - ALL GROUND RODS SHALL BE 5/8-INCH DIAMETER X 10'-0" LONG "COPPERWELD" OR APPROVED EQUAL, OF THE NUMBER AND LOCATIONS INDICATED. GROUND RODS SHALL BE DRIVEN FULL LENGTH VERTICAL IN UNDISTURBED EARTH.
  - GROUND CONDUCTORS
    - ALL GROUND CONDUCTORS SHALL BE STANDARD TINNED SOLID BARE COPPER ANNEALED, AND OF SIZE INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.
  - LUGS
    - LUGS SHALL BE 2-HOLE, LONG BARREL, STRAND COPPER UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. LUGS SHALL BE THOMAS AND BETTS SERIES #548\_\_BE OR EQUIVALENT
 

A.	535 MCM DLO	54880BE
B.	262 MCM DLO	54872BE
C.	#1/0 DLO	54862BE
D.	#4/0 THWN AND BARE	54866BE
E.	#2/0 THWN	54862BE
F.	#2 THHN	54207BE
G.	#6 DLO	54205BE
    - WHEN THE DIRECTION OF THE CONDUCTOR MUST CHANGE, IT SHALL BE DONE GRADUALLY. THE CURVATURE OF THE TURN SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CHART:
 

GROUNDING CONDUCTOR SIZE	MINIMUM BENDING RADIUS TO INSIDE EDGE
NO. 6 AWG TO NO. 4 AWG	6 INCHES
NO. 2 AWG TO NO. 1/0 AWG	8 INCHES
NO. 2/0 AWG TO 4/0 MCM	12 INCHES
250 MCM TO 750 MCM	24 INCHES

G. GROUND RING

- THE EXTERNAL GROUND RING ENCIROILING THE TOWER (IF APPLICABLE) AND BETWEEN THE EQUIPMENT SHELTER PLATFORM ANCHORS SHALL BE MINIMUM NO. 2 A.W.G. SOLID TINNED BARE COPPER CONDUCTOR IN DIRECT CONTACT WITH THE EARTH AT THE DEPTH INDICATED ON THE DRAWINGS. CONDUCTOR BENDS SHALL HAVE A MINIMUM BENDING RADIUS OF EIGHT INCHES (8").
- ALL EXTERNAL GROUND RINGS ARE TO BE JOINED TOGETHER AND ALL CONNECTIONS MUST BE CADWELDED. NO LUGS OR CLAMPS WILL BE ACCEPTED.

H. FENCE/GATE

- GROUND EACH GATE POST, CORNER POST AND GATE AS INDICATED ON DRAWING GROUND CONNECTIONS TO FENCE POSTS AND ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY EXOTHERMIC WELD PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES, AND SPRAYED WITH COLD-GALVANIZED PAINT.

9. I.E.E.E. FALL POTENTIAL TESTS

A. FOR RAW LAND SITE

- GROUND TESTS SHALL BE PERFORMED AS INDICATED ON DRAWINGS. A BIDDLE GROUND OHMER OR THE METHOD OF USING TWO AUXILIARY GROUND RODS (AS DESCRIBED IN I.E.E.E. STANDARDS NO. 81-1983, PART 1) MAY BE USED. THE I.E.E.E. METHOD REQUIRES THE USE OF AN A.C. TEST CURRENT. THE AUXILIARY TEST RODS MUST BE SUFFICIENTLY FAR AWAY FROM THE ROD UNDER TEST SO THAT THE REGIONS IN WHICH THEIR RESISTANCE IS LOCALIZED DO NOT OVERLAP. THE TEST POINT WILL BE THE GROUND ROD AND WILL CONSIST OF THE THREE POINT FALL OF POTENTIAL MEGGER TEST METHOD, USING THE BIDDLE NULL-BALANCE EARTH TESTER (MEGGER #250220-2 OR EQUIVALENT)
- CONTRACTOR TO CONDUCT GROUND RESISTANCE TEST IN THE FORMAT AS FOLLOWS:

B. EQUIPMENT PAD

- FIRST TEST - SHALL BE WITH FOUR GROUND RODS INSTALLED, ONE AT EACH CORNER OF THE PAD BUT NOT CONNECTED TO THE MAIN GROUNDING BUS. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL FOUR GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL FOUR RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
- SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

C. TOWER

- FIRST TEST - SHALL BE WITH THREE GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL THREE GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
- SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

D. EQUIPMENT PAD AND TOWER

- AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL TIE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
- AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPLETE A MEGGER CHECK OF THE GROUND SYSTEM SHOULD BE DONE. THE MAXIMUM ALLOWABLE LEADING IS 5 OHMS TO GROUND.

10. GROUNDING RESISTANCE TEST REPORT

UPON COMPLETION OF THE TESTING FOR EACH SITE, A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS ARE OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

SECTION 16503 - POLES, POSTS, AND STANDARDS (SINGLE MAST AND SELF SUPPORTING TOWERS)

1. GENERAL

- LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED.
- PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.
- GROUNDING:  
GROUND TOWER WITH A MINIMUM OF #2 AWG TINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TOWER BASE PLATE. TWO (2) GROUNDING LEADS PER TOWER BASE PLATE.  
NO EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE MONOPOLE TOWER SHAFT.

SECTION 16745 - TELECOMMUNICATIONS WIRING COMPONENTS (COAXIAL ANTENNA CABLE)

1. GENERAL

- ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.
- CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS). THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS
- ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.

2. MATERIALS:

A. COAXIAL CABLE:

- INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE FEET (3') IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.
- ALL COAX RUN LENGTHS GREATER THAN 175 FEET SHALL BE 1-5/8", ALL COAX. RUN LENGTH BETWEEN 101 FEET AND 174 FEET SHALL BE 1-1/4", AND IN LENGTH LESS THAN OR EQUAL TO 100 FEET SHALL BE 7/8".

3. ANTENNA AND COAXIAL CABLE GROUNDING

- ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)

4. COAXIAL CABLE IDENTIFICATION

- TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, PLASTIC TAGS SHALL BE USED AT THE FOLLOWING LOCATIONS:
  - FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED).
  - SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.
- USE ANDREW CABLE TIES (PT.# 27290) TO SECURE IDENTIFICATION TAGS.

5. TESTING

LESSEE SHALL PROVIDE AN INDEPENDENT TESTING AGENCY TO PERFORM THE COAXIAL SWEEP TEST & REPORT. THE CONTRACTOR IS TO PROVIDE ONE CLIMBER / QUALIFIED PERSONNEL TO ASSIST IN ANY REPAIRS AND WEATHERPROOFING ONCE THE TEST IS COMPLETE. THE CONTRACTOR IS TO PROVIDE LESSEE WITH A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE TIME OF THE SWEEP TEST.

NO	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
2	ISSUED FOR REVIEW	11/05/14	JJR
3	UPDATE TOWER OWNER INFORMATION	11/17/14	JJR
4	ISSUED FOR PERMITTING	12/08/14	JJR
5	UPDATE TOWER HEIGHT / ANTENNAS	01/28/15	JJR
6	UPDATE PER FIBER COORDINATION	02/20/15	MT
6	UPDATE PER COMMENTS	03/09/15	JJR

NO	DESCRIPTION	DATE	BY
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	JJR
7	REVISED COAX ROUTE	07/02/15	JJR

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



LOC. 278659  
SBA #IL46494-A

N. TINLEY

6640 W. 167TH ST.  
TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
SPECIFICATIONS

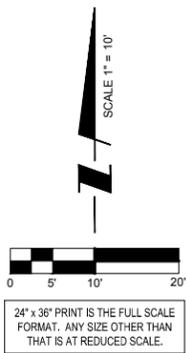
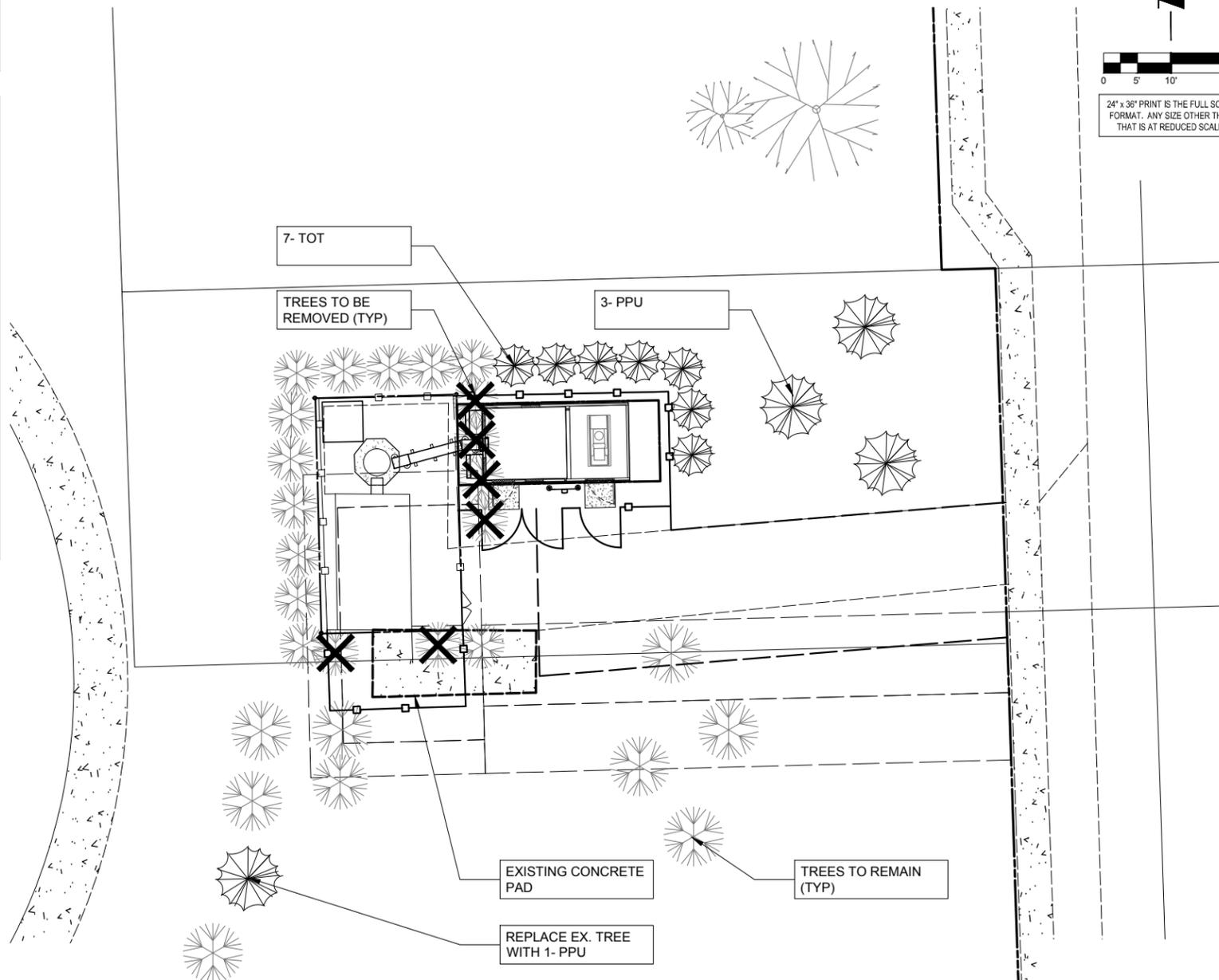
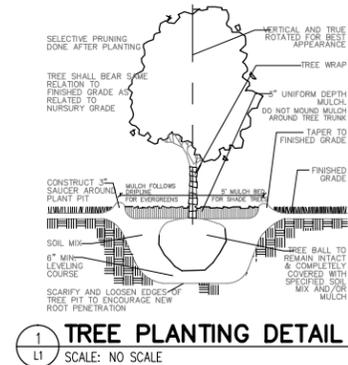
SHEET NUMBER  
**SP-2**

**PLANT LIST**

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	NOTE
EVERGREEN TREES					
4	PPU	PICEA PUNGENS	COLORADO SPRUCE	8' HT.BB	
7	THC	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	6' HT.BB	

**GENERAL CONSTRUCTION NOTES**

1. REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
2. BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
3. ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON THE APPROVED PLANS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE.
4. ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
5. PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
6. CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
7. THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
8. ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/05/14	BTE
2	ISSUED FOR REVIEW	11/05/14	JJR
3	UPDATE TOWER OWNER INFORMATION	11/17/14	JJR
4	ISSUED FOR PERMITTING	12/08/14	JJR
5	UPDATE TOWER HEIGHT / ANTENNAS	01/28/15	JJR
6	UPDATE PER FIBER COORDINATION	02/20/15	MT
	UPDATE PER COMMENTS	03/09/15	JJR

NO.	DESCRIPTION	DATE	BY
8	UPDATED / ADDED CONDUIT ROUTE	07/15/15	JJR
7	REVISED COAX ROUTE	07/02/15	JJR

**LOC. 278659**  
**SBA #IL46494-A**

**N. TINLEY**

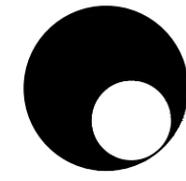
6640 W. 167TH ST.  
 TINLEY PARK, IL 60477

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	09/05/14
PROJECT #:	76-029

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L-1**

**CHICAGO SMSA**  
 limited partnership  
 d/b/a VERIZON WIRELESS



**K M Talty DESIGN**  
 Winnetka, Illinois  
 847.612.5154  
 Landscape Architecture

OPERATES 24 HOURS  
 A DAY 365 DAYS A YEAR

**Call Before You Dig**

**JULIE**  
 ILLINOIS ONE CALL SYSTEM

CALL JULIE TOLL FREE  
 1(800) 892-0123  
 48 HOURS BEFORE YOU DIG

### LEGEND

	Light Post		Found Section Corner Monument
	Telephone Pedestal		Found or Set Monument
	Fence		Found or Set Cut Cross
	Railroad Tracks	59.75'	Measured
	Centerline	(60.00')	Record
	Section Line	DOC. NO.	Document Number
	Building	A & U	Access & Utility
	Point of Commencement		PROPOSED Access Easement
	Point of Beginning		PROPOSED Utility Easement
			Lease Site Area

### LOCATION MAP

NOT TO SCALE

### SURVEY NOTES

EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED UPON THE RECORDED SUBDIVISION PLAT UNLESS NOTED OTHERWISE.

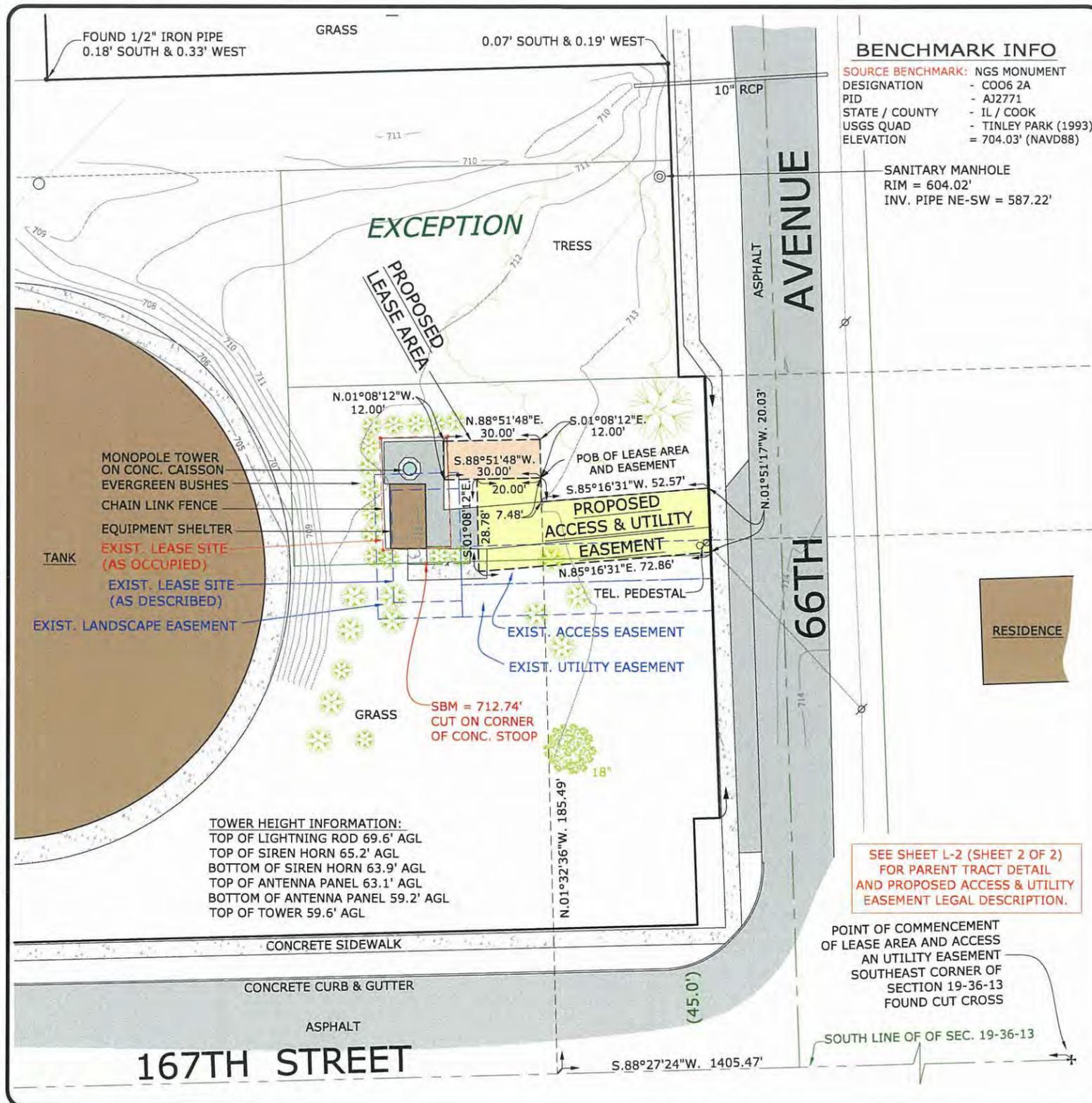
THE SURVEYOR EXPRESSES NO OPINION AS TO THE ACCURACY OF ANY UNDERGROUND UTILITIES WHEN NOT READILY VISIBLE FROM THE SURFACE. IT IS RECOMMENDED THAT THE APPROPRIATE GOVERNMENTAL AGENCY, MUNICIPALITY AND/OR UTILITY COMPANY BE CONTACTED FOR VERIFICATION.

THE PERMANENT PARCEL INDEX NUMBER FOR THE PROPERTY ENCUMBERED BY THE LEASE SITE AND EASEMENT HEREON IS 28-19-401-014.

THE FLOOD INSURANCE RATE MAP SHOWS THAT THE PROPERTY DESCRIBED HEREON IS FALLING WITHIN ZONE "X", ACCORDING TO THE COMMUNITY PANEL NUMBER 170169 0709 j, VILLAGE OF TINLEY PARK, MAP NUMBER 17031C0709J, COOK COUNTY, ILLINOIS AND INCORPORATED AREAS, MAP REVISED AUGUST 19, 2008. ZONE "X" IS AREA DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN.

THERE WAS 6"-8" OF SNOW COVER, PILED UP TO 48", AT THE TIME OF THE FIELD SURVEY.

EASEMENTS AND SERVITUDES SHOWN HEREON ARE BASED UPON A TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, AND IDENTIFIED AS FILE ORDER NO.: 1401 008961311 D1, WITH AN EFFECTIVE DATE OF JANUARY 24, 2014.



### BENCHMARK INFO

**SOURCE BENCHMARK:** NGS MONUMENT  
DESIGNATION - CO06 2A  
PID - A2771  
STATE / COUNTY - IL / COOK  
USGS QUAD - TINLEY PARK (1993)  
ELEVATION = 704.03' (NAVD88)

### BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON ILLINOIS STATE PLANE, EAST ZONE, NAD83 (2011)

MEAN MAGNETIC DECLINATION OBTAINED FROM U.S.G.S. 7 1/2 MINUTE SERIES MAP TINLEY PARK QUADRANGLE STATE OF ILLINOIS

LATITUDE: N 41°35'18.26"  
LONGITUDE: W 087°46'49.25"  
AT PROPOSED CENTERLINE OF TOWER  
COMPLIES WITH F.A.A. 1/A ACCURACY REQUIREMENTS

SCALE : 1" = 40'

11" X 17" PRINT IS THE FULL SCALE FORMAT OF THIS SURVEY. ANY OTHER SIZE IS AT AN ADJUSTED SCALE.

UTM GRID AND 1993 MAGNETIC NORTH DECLINATION AT CENTER OF QUAD MAP

### PROPOSED LEASE AREA LEGAL DESCRIPTION:

A PARCEL OF LAND FOR LEASE AREA PURPOSES, BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS;

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 19; THENCE SOUTH 88 DEGREES 27 MINUTES 24 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 19, A DISTANCE OF 1405.47 FEET; THENCE NORTH 01 DEGREES 32 MINUTES 36 SECONDS WEST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 185.49 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 51 MINUTES 48 SECONDS WEST, 30.00 FEET; THENCE NORTH 01 DEGREES 08 MINUTES 12 SECONDS WEST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 12.00 FEET; THENCE NORTH 88 DEGREES 51 MINUTES 48 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 30.00 FEET; THENCE SOUTH 01 DEGREES 08 MINUTES 12 SECONDS EAST, 12.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 360.0 SQUARE FEET.

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF KENDALL } SS

I, CHARLES S. MARSHALL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 2/21/2014 IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

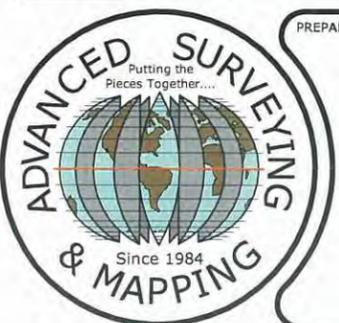
THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 25TH DAY OF NOVEMBER, A.D. 2014.

CHARLES S. MARSHALL  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3377  
LICENSE EXPIRES 11/30/2014

NO.	DATE	REVISION
1.	2/21/2014	FIELD SURVEY COMPLETED
3.	9/20/2014	FINAL SURVEY COMPLETED
4.	11/25/2014	REVISED LEASE AREA & EASEMENT PER CLIENT



PREPARED BY:

# ASMO

ASM Consultants, Inc.  
PO Box 7, Plano, IL 60545  
Tel (630) 273-2500 Fax (630) 273-2600  
advanced@advct.com  
Professional Design Firm #184-006014 expires 4/30/2015

## PLAT OF SURVEY OF LEASE AREA AND EASEMENT

PREPARED FOR:

# Chicago SMSA

CHICAGO SMSA LIMITED PARTNERSHIP  
d/b/a VERIZON WIRELESS  
1515 WOODFIELD ROAD, SUITE 1400  
SCHAUMBURG, ILLINOIS 60173  
PHONE: 847-619-5397 FAX: 847-706-7415

**TERRA**  
Consulting Group, LTD.  
600 Busse Highway  
Park Ridge, IL 60068  
(847) 698-6400

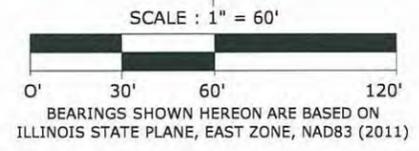
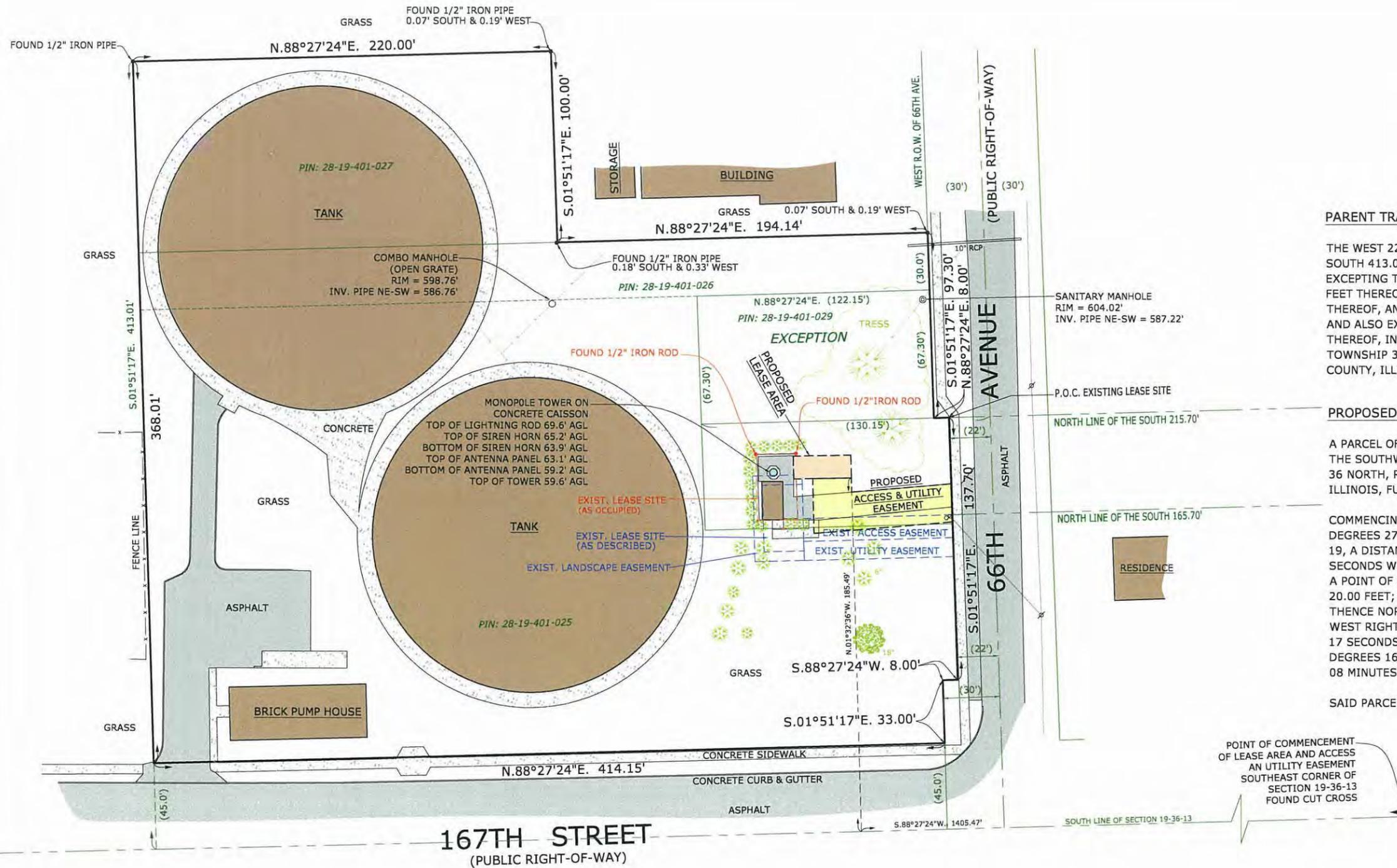
SITE DESIGNATION INFORMATION:

**N. TINLEY**  
**Location No.: 278659**  
**Project No.: 20130970193**  
6640 W. 167th Street  
Tinley Park, IL 60477

DRAWN BY: DL  
CHECKED BY: CSM

PROJECT NO.  
**720289A**

**L-1**



**PARENT TRACT:**

THE WEST 220.00 FEET OF THE EAST 444.54 FEET OF THE NORTH 100.00 FEET OF THE SOUTH 413.00 FEET, AND THE EAST 444.54 FEET OF THE SOUTH 313.00 FEET, EXCEPTING THE NORTH 67.30 FEET OF THE SOUTH 283.00 FEET OF THE EAST 152.15 FEET THEREOF, AND ALSO EXCEPTING THE EAST 22 FEET OF THE SOUTH 215.15 FEET THEREOF, AND ALSO EXCEPTING THE EAST 30 FEET OF THE NORTH 30 FEET THEREOF, AND ALSO EXCEPTING THE WEST 8 FEET OF THE EAST 30 FEET OF THE SOUTH 80 FEET THEREOF, IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

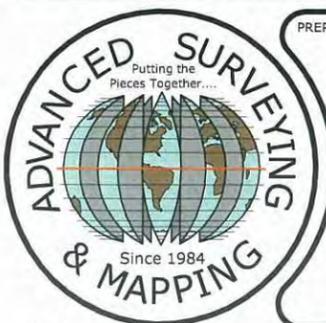
**PROPOSED ACCESS & UTILITY EASEMENT LEGAL DESCRIPTION:**

A PARCEL OF LAND FOR ACCESS & UTILITY EASEMENT PURPOSES, BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS;

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 19; THENCE SOUTH 88 DEGREES 27 MINUTES 24 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 19, A DISTANCE OF 1405.47 FEET; THENCE NORTH 01 DEGREES 32 MINUTES 36 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 185.49 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 51 MINUTES 48 SECONDS WEST, 20.00 FEET; THENCE SOUTH 01 DEGREES 08 MINUTES 12 SECONDS EAST, 28.78 FEET; THENCE NORTH 85 DEGREES 16 MINUTES 31 SECONDS EAST, 72.86 FEET TO THE WEST RIGHT-OF-WAY LINE OF 66TH AVENUE; THENCE NORTH 01 DEGREES 51 MINUTES 17 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, 20.03 FEET; THENCE SOUTH 85 DEGREES 16 MINUTES 31 SECONDS WEST, 52.57 FEET; THENCE NORTH 01 DEGREES 08 MINUTES 12 SECONDS WEST, 7.48 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1,616.9 SQUARE FEET.

POINT OF COMMENCEMENT OF LEASE AREA AND ACCESS AN UTILITY EASEMENT SOUTHEAST CORNER OF SECTION 19-36-13 FOUND CUT CROSS



PREPARED BY:

**ASMO**  
 ASM Consultants, Inc.  
 PO Box 7, Plano, IL 60545  
 Tel (630) 273-2500 Fax (630) 273-2600  
 advanced@advct.com  
 Professional Design Firm #184-006014 expires 4/30/2015

**PLAT OF SURVEY OF LEASE AREA AND EASEMENT**

PREPARED FOR:

**Chicago SMSA**  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 a/b/a VERIZON WIRELESS  
 1515 WOODFIELD ROAD, SUITE 1400  
 SCHAUMBURG, ILLINOIS 60173  
 PHONE: 847-619-5397 FAX: 847-706-7415

**TERRA**  
 Consulting Group, LTD.  
 600 Busse Highway  
 Park Ridge, IL 60068  
 (847) 698-6400

NO.	DATE	REVISION
1.	2/21/2014	FIELD SURVEY COMPLETED
2.	9/20/2014	FINAL SURVEY COMPLETED
3.	11/25/2014	REVISED LEASE AREA & EASEMENT PER CLIENT

SITE DESIGNATION INFORMATION:

**N. TINLEY**  
 Location No.: 278659  
 Project No.: 20130970193  
 6640 W. 167th Street  
 Tinley Park, IL 60477

DRAWN BY: PS  
 CHECKED BY: CSM

PROJECT NO.  
**720289A**

**L-2**



2682 Garfield Road North, Site 22, Traverse City, MI 49686  
(231) 409-4111 Fax (231) 929-4580

June 1, 2015

To: Ms. Paula Wallrich, Deputy Planning Director  
Plan Commission  
Village of Tinley Park

Re: Plan Commission Analysis for SBA Site (Post 1) 167<sup>th</sup> Street, Tower Extension  
Application for “Special Use Permit” for Village use

Dear Ms. Wallrich:

MSC is providing our analysis for the SBA Site located at 167<sup>th</sup> Street for an extension to an existing tower. MSC performs the following services in reference to analysis for “Special Use Permits” and “Zoning Ordinance” compliance:

**Analysis Services for SBA Site located at 167<sup>th</sup> Street (Post 1) “Village Use”**

MSC reviewed the application and coverage maps for compliance to existing zoning rules. Verizon has within their application demonstrated a need for an additional tower site located in the vicinity of 167<sup>th</sup> Street. The area targeted has a high residential population with limited coverage from Verizon’s system at present to vehicle and in-house residential services.

The Village has studied the 167<sup>th</sup> Street area to install a tower for the last (3) years. Today the Village is experiencing unreliable and expensive SCADA monitoring and controlling services over the current telephone network. The Village must move forward to alleviate this critical issue. In 2014 Public Works approached the Village Leaders to install a 100’ SS tower at the location called Post 1. There was an existing 60 tower at this location for possible use. MSC studied the existing structure and found that the current height of 60’ was inadequate for the SCADA system needs.

In February of 2015 the Village was approached by SBA to increase the current structure height from 60’ to 95’. Upon receiving this information the Village approached SBA to potentially collocate on the structure with the increased height. The Village then dismissed the need for another 100’ tower in the same location.

The proposed height of 95’ is adequate for the Village’s needs as long as the Village is granted permission to place their antennas above all other equipment located on the tower, (except the lightning rod). The coverage analysis performed by the Village for SCADA and Microwave implementation indicates a minimum height requirement of 94’

With Plan Commission approval the Village would install a 10' long antenna on the top of the proposed tower and within the total height request of 104'.

Please advise should you require further information or clarification.

Max Machuta, Village Technology Consultant



2682 Garfield Road North, Site 22, Traverse City, MI 49686  
(231) 409-4111 Fax (231) 929-4580

June 1, 2015

To: Ms. Paula Wallrich, Deputy Planning Director  
Plan Commission  
Village of Tinley Park

Re: Plan Commission Analysis for Verizon Site (Post 1) 167<sup>th</sup> Street, Tower Extension  
Application for "Special Use Permit"

Dear Ms. Wallrich:

MSC is providing our analysis for the Verizon Site located at 167<sup>th</sup> Street for an extension to an existing tower. MSC performs the following services in reference to analysis for "Special Use Permits" and "Zoning Ordinance" compliance:

**Analysis Services for Verizon Site located at 167<sup>th</sup> Street (Post 1)**

MSC reviewed the application and coverage maps for compliance to existing zoning rules.

Verizon has within their application demonstrated a need for an additional tower site located in the vicinity of 167<sup>th</sup> Street. The area targeted has a high residential population with limited coverage from Verizon's system at present to vehicle and in-house residential services.

The coverage studies are commensurate with those issued by ATT in September 2014 and bare similar coverage indications. The area of 167<sup>th</sup> Street would allow Verizon to offer a quality level of service for in-vehicle and in-house use.

The request to extend the tower to 95' where Verizon would place the antenna RAD centers at 85' is essential to ensure maximum coverage in a confined area. The total structure height with all appurtenances would be 104' to include a lightning rod suitable to protect the structure and surrounding objects.

The increased height allows the tower owners to maximize on future growth thus allowing an additional carrier to prevent another tower being built in close proximity.

Please advise should you require further information or clarification.

Max Machuta, Village Technology Consultant



# N Tinley

## Pre & Post Simulations



## Proposed N TINLEY Site Summary

The area under consideration is needed to provide capacity relief to the neighboring cell sites. In addition, the new site will improve in-building and in-vehicle coverage for the area.

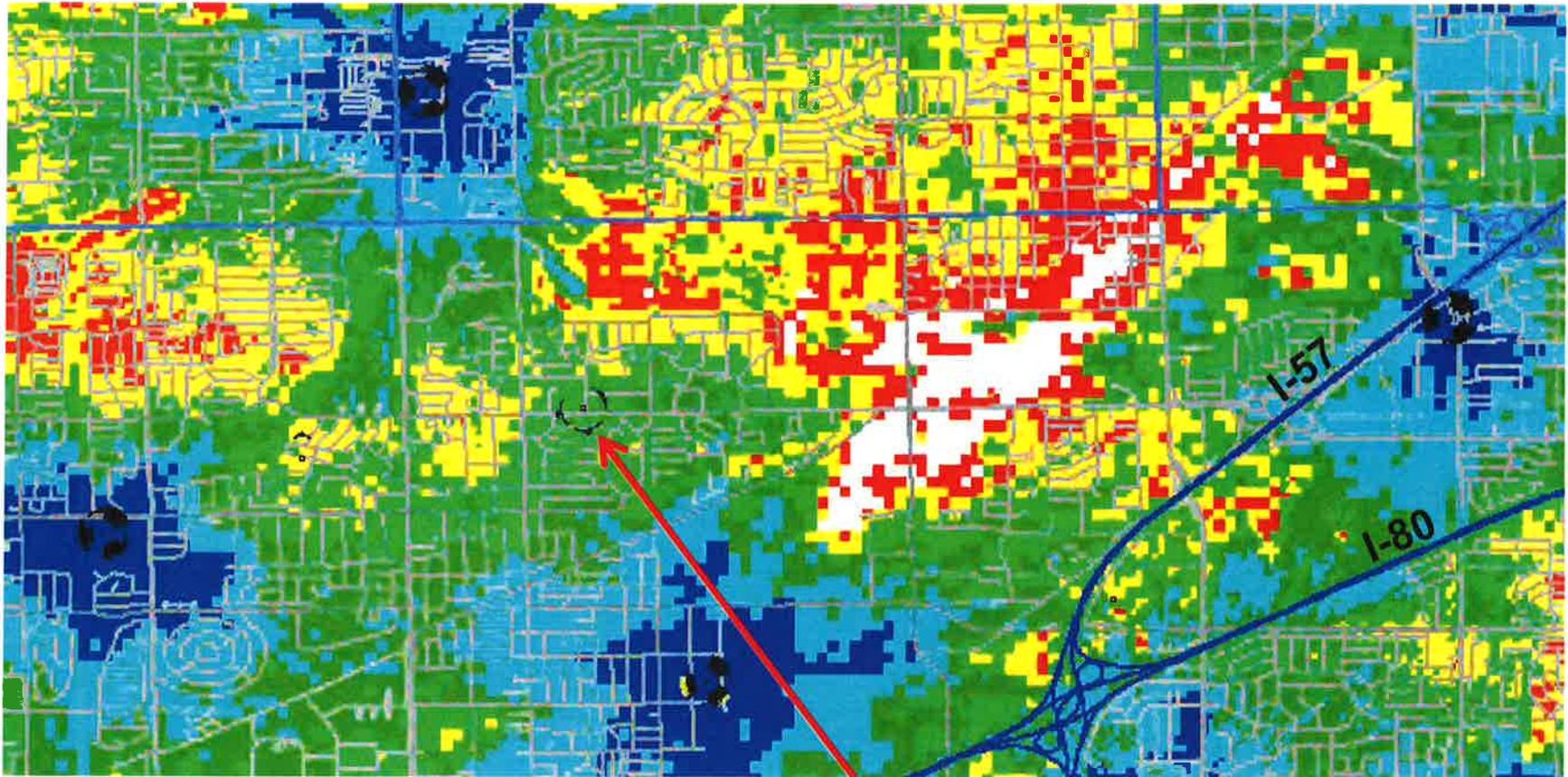
The primary objectives of this site are:

1. Capacity offload to the neighboring sectors serving the area.
2. Improved capacity for the daily commuters and local businesses /residences.
3. Improve reliable in-building coverage for the area.

- Coverage plots generated at 700 MHz



# With-out Proposed N Tinley Site



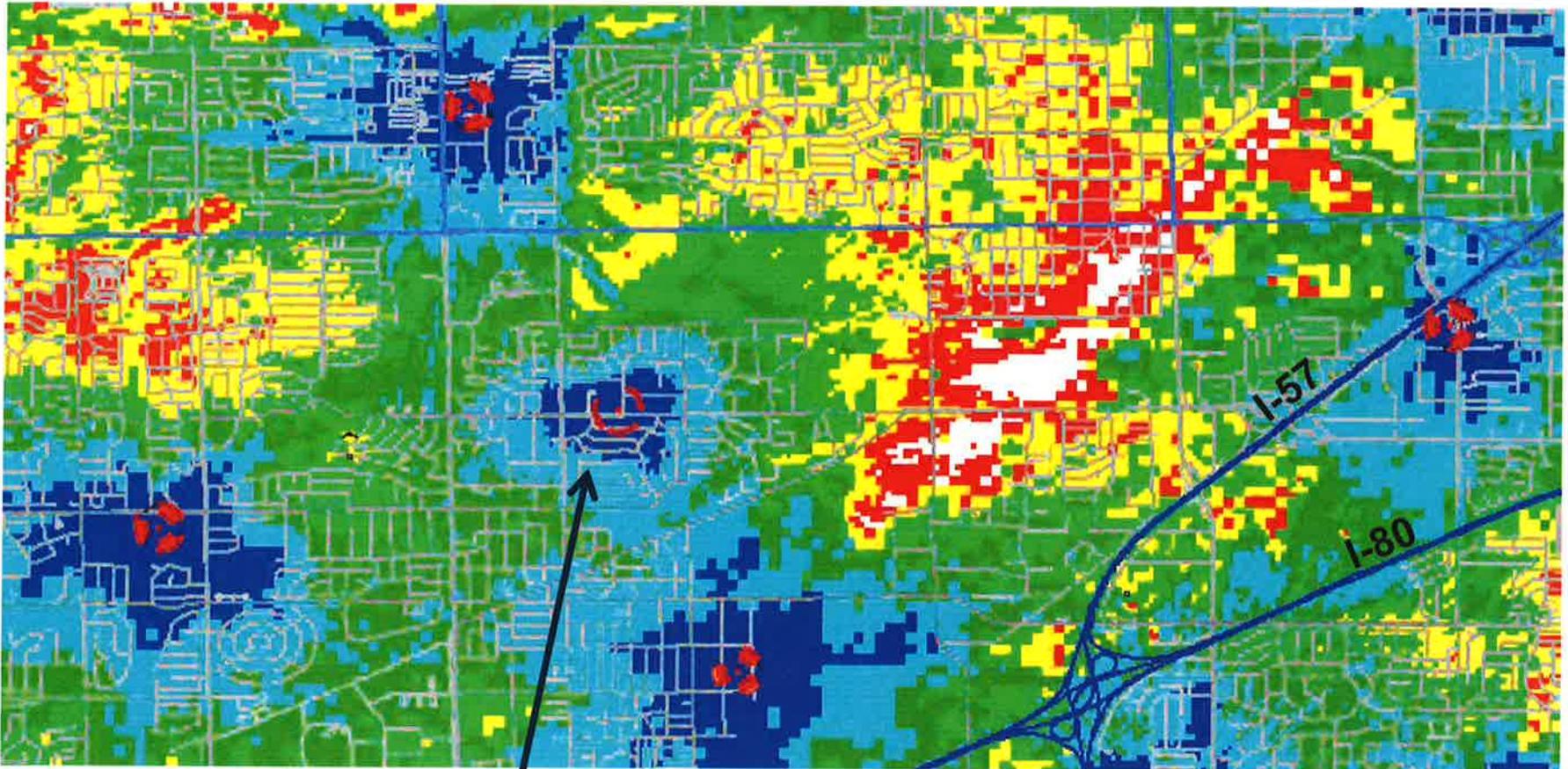
Reliable In-Residence
Un-Reliable In-Residence
Reliable In-Vehicle
Un-Reliable In-Vehicle
Reliable On-Street
Marginal Coverage

All of the surrounding Sites are targeted for capacity offload

Proposed new site location



# With N Proposed Tinley Site

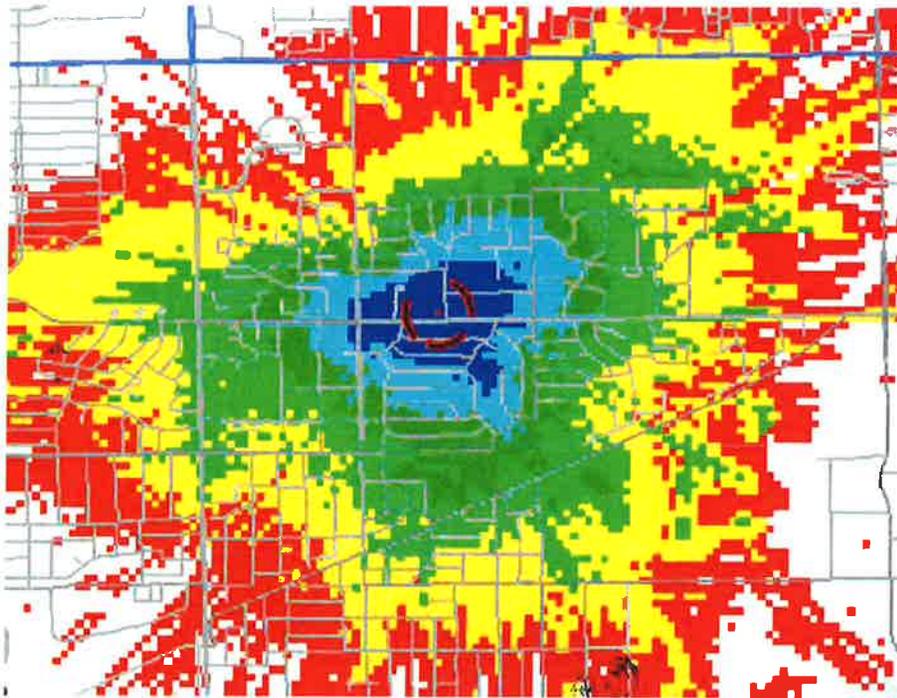


Reliable In-Residence
Un-Reliable In-Residence
Reliable In-Vehicle
Un-Reliable In-Vehicle
Reliable On-Street
Marginal Coverage

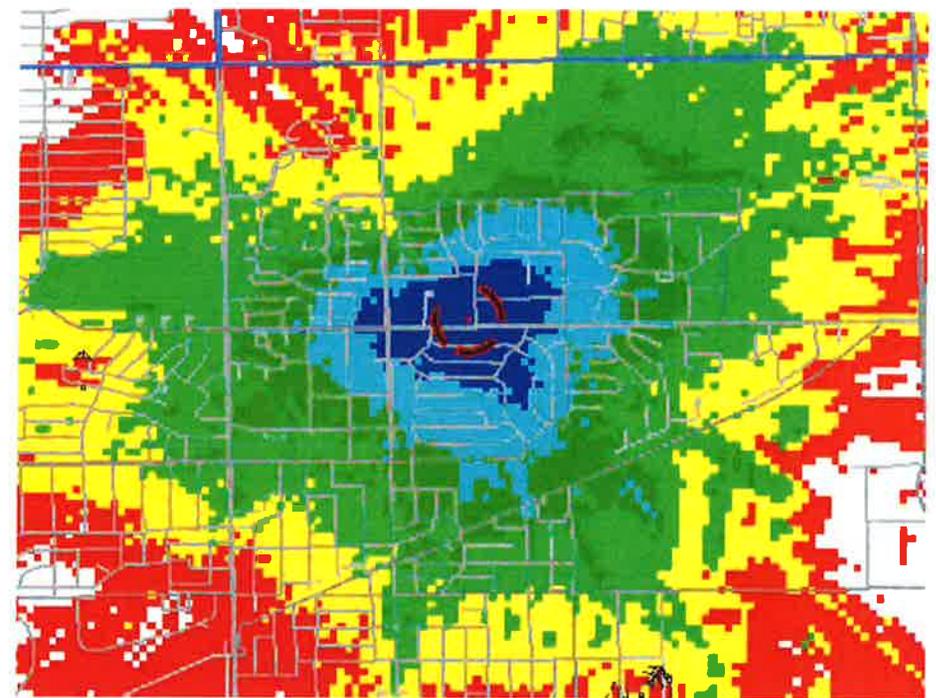
Proposed new site location



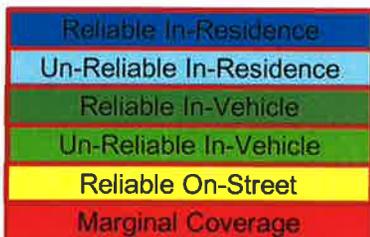
## Site Propagation at 85' vs. 50'



50' CL



85' CL



The cell at an 85' CL enables in-building and in-vehicle coverage to be improved for a larger coverage area. An 85' CL provides the necessary coverage area needed to provide capacity offload to the surrounding sites

## FEATURES & SPECIFICATIONS

### INTENDED USE

Provides maintenance-free general illumination for outdoor use in commercial applications such as retail, education, multi-unit housing and storage. Ideal for lighting building facades, parking areas, walkways, garages, loading areas and any other outdoor space requiring reliable safety and security.

### CONSTRUCTION

Sturdy weather-resistant aluminum housing with a bronze finish, standard unless otherwise noted. A clear polycarbonate lens protects the optics from moisture, dirt and other contaminants.

Fixture is maintenance-free.

### OPTICS

8 high performance 5470K LEDs are powered by a multi-volt (120V-277V) LED driver that uses 26.45 input watts and provides 1,436 delivered lumens. 50,000 hour average LED life means no lamp replacement.

See Lighting Facts label on page 2 for performance details.

### ELECTRICAL

Operating temperature -40°C to 40°C.

Adjustable Dusk-to-dawn, multi-volt photocell standard automatically turns light on at dusk and off at dawn for convenience and energy savings.

Photocell can be disabled by rotating the photocell cover.

6KV surge protection standard.

### INSTALLATION

Surface or recessed mount. A universal junction box is included standard.

All mounting hardware included.

### LISTINGS

UL Certified to US safety standards. Optional (120V) C-UL Certified to Canadian safety standards. Wet location listed.

Tested in accordance with IESNA LM-79 and LM-80 standards.

### WARRANTY

Five-year limited warranty.

Full warranty terms located at [www.AcuityBrands.com/CustomerResources/Terms\\_and\\_Conditions.aspx](http://www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx).

NOTE: Specifications are subject to change without notice.

Catalog Number
Notes
Type

Outdoor General Purpose

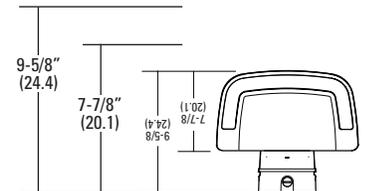
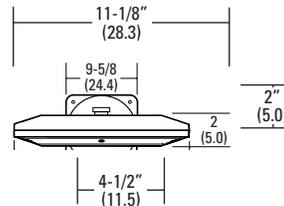
# OLW14

LED WALL PACK



### Dimensions

All dimensions are inches (centimeters)



### ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

**Example: OLW14**

Series	Color Temperature (CCT)	Voltage	Features	Finish
<b>OLW14</b> 1400 lumen LED wall pack	<b>(blank)</b> 5700K <sup>1</sup>	<b>(blank)</b> MVOLT (120V-277V) 120 120 Volt (available in white only)	<b>(blank)</b> MVOLT photocell included CUL PE Canadian-approved 120V photocell	<b>(blank)</b> Bronze WH White

**Accessories:** Order as separate catalog number.

FCOS M24 Full cutoff shield  
FCOS WH M24 Full cutoff shield, white

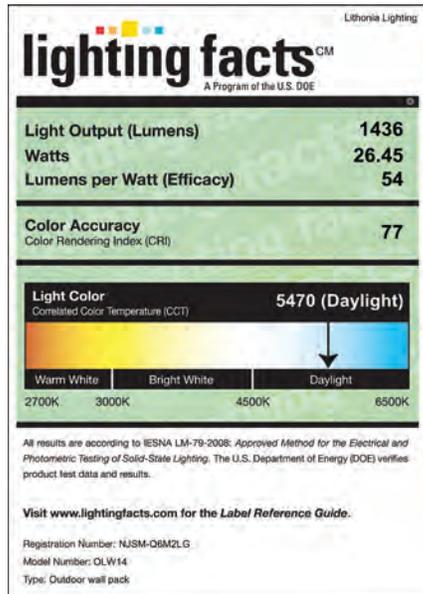
### Notes

1 Correlated Color Temperature (CCT) shown is nominal per ANSI C78.377-2008.

# LED Wall Pack

## PHOTOMETRICS

Full photometric data report available within 2 weeks from request. Consult factory.  
Tested in accordance with IESNA LM-79 and LM-80 standards.



## FEATURES & SPECIFICATIONS

### INTENDED USE

Provides maintenance-free general illumination for outdoor use in commercial applications such as retail, education, multi-unit housing and storage. Ideal for lighting building facades, parking areas, walkways, garages, loading areas and any other outdoor space requiring reliable safety and security.

### CONSTRUCTION

Sturdy weather-resistant aluminum housing with a bronze finish, standard unless otherwise noted. A clear polycarbonate lens protects the optics from moisture, dirt and other contaminants.

Fixture is maintenance-free.

### OPTICS

8 high performance 5470K LEDs are powered by a multi-volt (120V-277V) LED driver that uses 26.45 input watts and provides 1,436 delivered lumens. 50,000 hour average LED life means no lamp replacement.

See Lighting Facts label on page 2 for performance details.

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Operating temperature -40°C to 40°C.

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Photocell can be disabled by rotating the photocell cover.

6KV surge protection standard.

### INSTALLATION

Surface or recessed mount. A universal junction box is included standard.

All mounting hardware included.

### LISTINGS

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Catalog Number
Notes
Type

Outdoor General Purpose

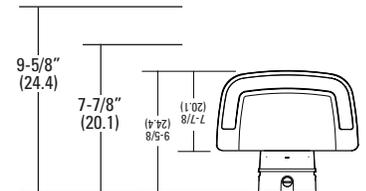
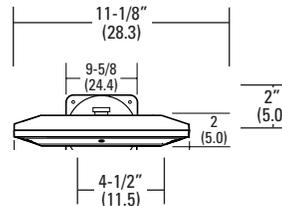
# OLW14

LED WALL PACK



### Dimensions

All dimensions are inches (centimeters)



### ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLW14

Series	Color Temperature (CCT)	Voltage	Features	Finish
<b>OLW14</b> 1400 lumen LED wall pack	<b>(blank)</b> 5700K <sup>1</sup>	<b>(blank)</b> MVOLT (120V-277V) 120 120 Volt (available in white only)	<b>(blank)</b> MVOLT photocell included CUL PE Canadian-approved 120V photocell	<b>(blank)</b> Bronze WH White

**Accessories:** Order as separate catalog number.

FCOS M24 Full cutoff shield  
FCOS WH M24 Full cutoff shield, white

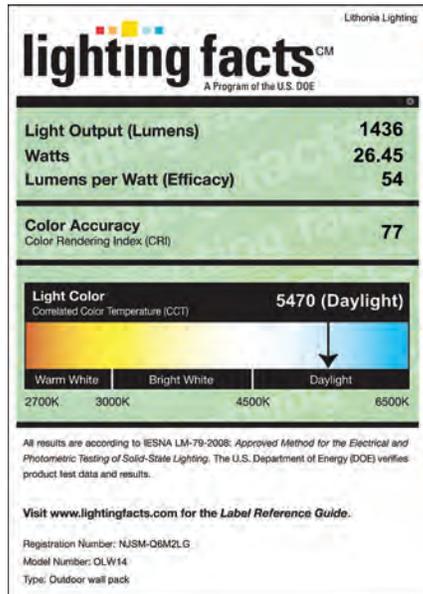
### Notes

1 Correlated Color Temperature (CCT) shown is nominal per ANSI C78.377-2008.

# LED Wall Pack

## PHOTOMETRICS

Full photometric data report available within 2 weeks from request. Consult factory.  
Tested in accordance with IESNA LM-79 and LM-80 standards.





# PLAN COMMISSION STAFF REPORT

August 6, 2015

## Text Amendments to the 2011 Legacy Code

### Applicants

Village of Tinley Park

### Property Location

Legacy Code Zoned Areas

### Zoning

All Legacy Code Zoning Districts are impacted

### Approval Sought

Text Amendments to Village of Tinley Park Zoning Ordinance, Section XII (Legacy Code)

### Requested Action

Assign two Commissioners to discuss the proposed text amendments

### Project Planner

Amy Connolly  
Planning Director

### EXECUTIVE SUMMARY

Over the past few years, Village Planning staff have accumulated a list of needed updates to the 2011 Legacy Code for Downtown (officially, Section XII of the Tinley Park Zoning Ordinance) based upon our implementation of the Code. Rather than piecemealing each update one at a time, we felt it would be better to create an “omnibus” update at covering various areas of the code.

To summarize the proposed text amendments:

- Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 2 (District Regulations), subsection A (Downtown Core), Figure 2.A.2 – Downtown Core Regulating Plan, is amended by deleting the term “Street Level Commercial Required” in the legend of Figure 2.A.2 and replacing it with “Street Level Commercial Allowed.”
- Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 2 (District Regulations), subsection A (Downtown Core), is further amended by deleting the existing Figure 2.A.6, and replacing it with the revised Figure 2.A.6 attached hereto as Exhibit A and made a part hereof, showing a change to the boundaries of the Downtown Core District and fully zoning a parcel with address 17533 S. Oak Park Avenue as Downtown Core.
- Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 2 (District Regulations), subsection D (Neighborhood General), Figure 2.E.2 – Neighborhood General Regulating Plans is amended by deleting the term “Street Level Commercial Required” in the legend of Figure 2.E.2 and replacing it with “Street Level Commercial Allowed.”
- Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 3 (General Provisions), subsection A (Uses), Table 3.A.2. is amended by deleting “Package liquor stores” from the list of special uses and adding “Package liquor stores” to the list of prohibited uses, by deleting the words “and used” from the “Automobile and custom van sales (new and used)” special use entry, and by adding “Automobile and custom van sales (used)” to the list of prohibited uses, and by adding “Tobacco, hookah, cigarette, cigar, e-cigarette, and vapor sales establishments, and any related on-site consumption, as a primary use” and “medical marijuana dispensing facility” to the list of prohibited uses.



with a requirement that may make a single use residential development difficult. Using a “framer’s argument”, staff cannot remember wanting to be so strict with requiring street level commercial, but only saying that some type of commercial use would be appropriate or allowed at the street level.

3. Regulating Plan - Improvements > 50% (NF)

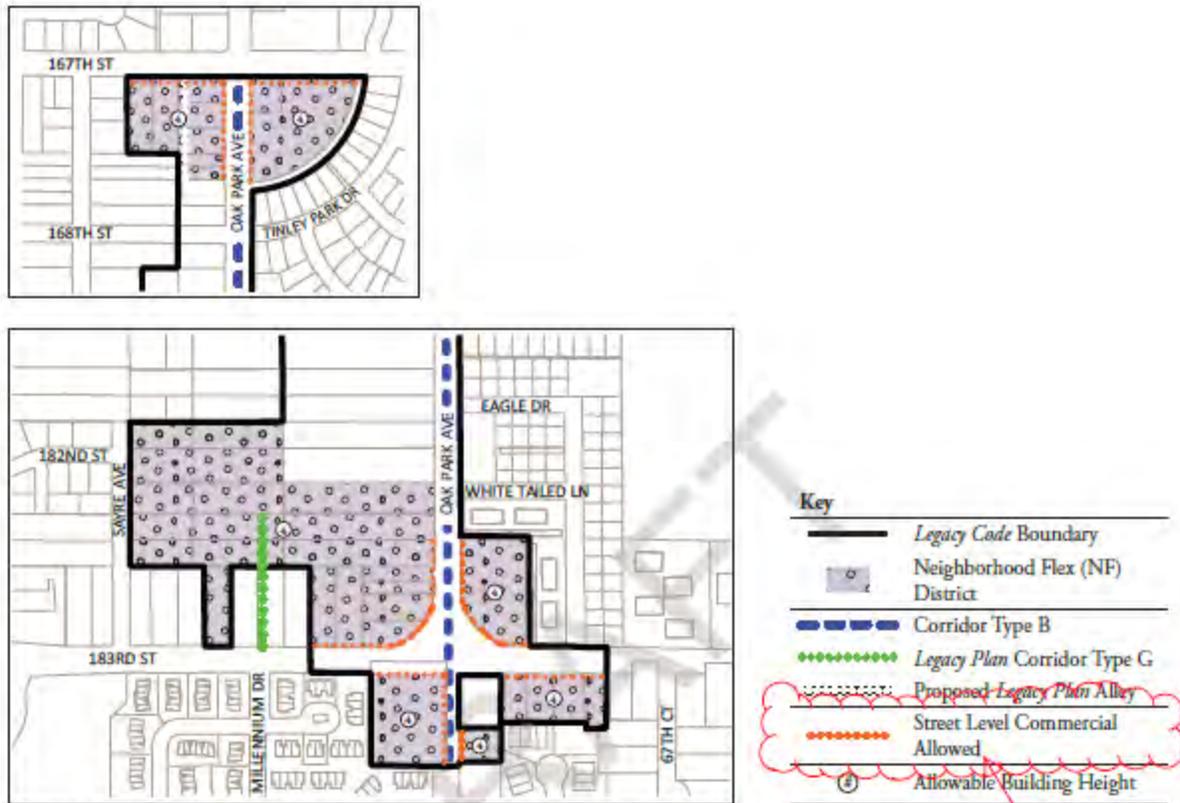


Figure 2.E.2 - Neighborhood General Regulating Plans

4. General Standards (NF)

Permitted Building Functionality	On-Site Vehicle Parking	On-Site Bike Parking

Staff notes that when we were establishing the Neighborhood Flex District, we wanted to be flexible about allowing practically any type of use in this district, as long as the required building functionality and setbacks (private frontage standards/private lot standards) were followed. The Neighborhood Flex District is uniquely located more directly adjacent to Will County areas with lower tax rates, so spurring any type of development at these corners was the goal of the plan. We believe that requiring street level commercial could complicate the redevelopment of these corners, particularly if a residential developer seeks to build in the district. Note that residential, multiple family building functionality is permitted by right in the Neighborhood Flex District and the Downtown Core District, which conflicts with the “street level commercial required” requirement (i.e., how can you have a residential use that is required to have street level commercial?)



## USE TABLE AMENDMENTS

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Feedback from staff and elected officials has warranted that we examine the list of special uses and prohibited uses located in Section 3 of the Legacy Code. The recommendations include:

**1. Moving “Package liquor stores” form the Special Use column to the Prohibited Uses column.**

The rationale behind this request is to limit the number of package liquor stores to what exists today. Notably, the most recent special use for a package liquor store will continue to be allowed as a legal non-conforming use (cannot expand the use or building containing the use) if this amendment is approved.

**2. Maintaining “Automobile and custom van sales (new)” in the Speical Use column and moving “Automobile and custom van sales (used)” to the Prohibited Uses column.**

The rationale behind this request is to limit the number of used car sales lots to what exists today. Any established and operating used car sales would be allowed to continue as a legal non-conforming use. However, the a legal non-conforming use cannot expand in size if it is a prohibited use.

**3. Adding “Tobacco, hookah, cigarette, cigar, e-cigarette, and vapor sales establishments, and any related on-site consumption, as a primary use” and “medical marijuana dispensing facility” to the Prohibited Uses column.**

The rationale behind this request is to prohibit the sales and on-site consumption of these products in any Legacy Code Zoned property. Note that convenience stores or pharmacies that sell these products as a secondary use would still be allowed to sell tobacco or cigars, etc. However, a store whose primary purpose is any of those uses would not be allowed in the Legacy Districts. The Village’s recent Zoning Code updates regarding medical marijuana already prohibits dispensing facilities in the downtown, but this makes a formal change in the text of the ordinance.

## BUFFERYARDS

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A recent review of a project containing a parking lot adjacent to a non-Legacy Code zoned parcel alerted us to a deficiency in the code. We would not wish to see a parking lot (no alley) unbuffered from another parcel without a required bufferyard. Therefore, we recommend that Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 3 (General Provisions), subsection F.10.d. (Landscaping, Bufferyards, Properties Adjacent to Non-Legacy Code Area), is amended as follows:

“d. Properties Adjacent to Non-Legacy Code Area

A bufferyard is required between an alley and a parcel located outside of the Legacy Code Area **and/or between the rear of any property that has a surface parking lot and a parcel outside of the Legacy Code Area**. The minimum standard shall be a minimum bufferyard of 5’.”

## SCRIVENER'S ERRORS IN LEGALS FOR REZONING

While investigating the zoning for the parcel with address 17533 S. Oak Park Avenue and finding that the legals seems to have been left out of the legal description of the zoning district, we asked Robinson Engineering to go back through all the legal descriptions for each zoning district within the Legacy Code and they found several errors. These errors are identified and corrected with an attachment. We note that the maps are generally correct, but the legal descriptions did not always properly match. To avoid any legal zoning challenges, we need to correct these for the record.

## SIGNAGE

While assisting a local business with the Legacy Code District (Neighborhood General) with signage concerns and trying to encourage a more quaint and simple sign to be erected (instead of a larger monument sign), we discovered that our sign regulations for "Hanging – Freestanding" signs may be prohibitively small to promote moving to smaller type signs in commercial areas.

We are suggesting that the the following items change in Section 4.E (Sign Regulations)

#	Type	Permitted	Maximum Sign Face Area	Maximum Height	Special Lighting Requirements	Location
13	Hanging-Freestanding	Yes	<del>3 sq. ft.</del> <b>10 sq. ft.</b>	<del>4'</del> <b>5 1/2'</b>	<del>Shall not be illuminated by an external source.</del>  <b>Shall not be illuminated by an internal source, may be illuminated by an external source not attached to the sign structure or sign face.</b>	<del>Shall be 10' off the property line and setback 10' from an access or entry drive.</del> <del>One sign per building. Wood or Wood composite material only.</del>  <b>Shall be a minimum of 4' off a property line and a minimum of 4' from an access or entry drive. One sign per building. Wood or wood composite material only.</b>

The rationale for these change are to allow a 3 ½ to 4' high sign face with 1' of space between the ground and the bottom of the sign and approximately 6" of "structure" above the sign for hanging. This seems to be a standard size sign that would be visible, yet still create the "quaintness" we're looking for in the downtown areas.

## **RECOMMENDATION**

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We recommend assigning two commissioners to a worksession to review these proposed amendments. Additionally, we would recommend that we discuss the proposed amendments with the Historic Preservation Commission and the Main Street Commission prior to a public hearing.

**PAMPHLET**  
**FRONT OF PAMPHLET**

**ORDINANCE NO. 2015-O-\_\_\_**

**AN ORDINANCE MAKING CERTAIN TEXT AMENDMENTS TO SECTION XII  
(LEGACY CODE) OF THE TINLEY PARK ZONING ORDINANCE, AND REZONING  
CERTAIN PROPERTIES RELATIVE TO THE LEGACY CODE ZONING DISTRICTS**

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by Order of the  
Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois.

By: \_\_\_\_\_  
PATRICK REA  
Village Clerk

**ORDINANCE NO. 2015-O-\_\_\_**

**AN ORDINANCE MAKING CERTAIN TEXT AMENDMENTS TO SECTION XII (LEGACY CODE) OF THE TINLEY PARK ZONING ORDINANCE, AND REZONING CERTAIN PROPERTIES RELATIVE TO THE LEGACY CODE ZONING DISTRICTS**

**WHEREAS**, in 2011, the Board of Trustees of the Village of Tinley Park enacted, as Section XII of the Tinley Park Zoning Ordinance (“Zoning Ordinance”), the 2011 Legacy Code (the “Legacy Code”) relative to the downtown area of the Village. The Legacy Code included the establishment of a regulating plan, and regulation of building functionality, public frontages, private frontages, general provisions (uses, building types and standards, landscaping, fences, parking, alleys, vehicle access, stormwater management, and lighting), established administrative processes, and regulated signage, all within six new zoning classifications and zoning districts; (collectively, the map amendments creating the Legacy Code zoning districts, with the enactment of the Legacy Code text, shall be referred to herein as the “Legacy Code”); and

**WHEREAS**, the overall purpose of the Legacy Code was to strengthen the aesthetics and economics of the downtown area; and

**WHEREAS**, the Board of Trustees of the Village of Tinley Park, also in 2011, rezoned certain properties in the area generally described as between 167<sup>th</sup> Street and 183<sup>rd</sup> Street, along and near Oak Park Avenue to one of the six zoning districts created by the Legacy Code: Downtown Core, Downtown Flex, Downtown General, Neighborhood General, Neighborhood Flex, and Civic (collectively, the “Legacy Code zoning districts”); and

**WHEREAS**, now that several years have passed, staff has recommended several changes to the text of the Legacy Code text (the “proposed text amendments”) based on the experience of administering the Code, and changes in conditions downtown since the Code’s enactment, as well as several map amendments (the “proposed map amendments”) correcting existing legal descriptions and rezoning certain properties within the Legacy Code zoning districts, or adding new properties to the Legacy Code zoning districts;

**WHEREAS**, the proposed text amendments and proposed map amendments have been referred to the Plan Commission of this Village and have been processed in accordance with the Tinley Park Zoning Ordinance, as amended; and

**WHEREAS**, the Plan Commission of this Village held a public hearing on the proposed text amendments and the proposed map amendments on \_\_\_\_\_, 2015, at which time all persons present were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing in the form and manner required by law; and

**WHEREAS**, in addition to the public hearings, the proposed text amendments and the proposed map amendments were discussed at multiple meetings of the Village's Plan Commission (\_\_\_\_\_, 2015), and at \_\_\_\_\_; and

**WHEREAS**, the Plan Commission of this Village has filed its report of findings and recommendation that the proposed amendments and proposed text amendments be granted with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendation.

**NOW, THEREFORE, Be It Ordained** by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

**Section 1:** That the report and findings and recommendation of the Plan Commission of this Village are herein incorporated by reference as the findings of this Board of Trustees, as completely as if fully recited herein at length.

**Section 2:** That this President and Board of Trustees, after considering the report and findings and recommendation of the Plan Commission and other matters properly before it, finds, in addition to the findings set forth in Section 1 hereof as follows:

- (a) That the purpose of the proposed text amendments and proposed map amendments is to further the original goals of the enactment and rezoning related to the Legacy Code, including, among other things, preservation of Tinley Park's unique heritage, ensuring that development respects the historic scale and character of the downtown, building a strong economic future for downtown Tinley Park, maximizing the number of people living within walking distance of the train station, encourage building mass to peak at the downtown core, and create a connected roadway framework with small walkable blocks; and
- (b) That the proposed text amendments and proposed map amendments are in the public good and in the best interests of the Village and its residents and are consistent with and foster the purposes and spirit of the Tinley Park Zoning Ordinance as set forth in Section I.B thereof; and
- (c) That the proposed text amendments and proposed map amendments are designed to improve the downtown and provide specific regulations to achieve redevelopment consistent with and in accordance with the Legacy Plan, to foster

the intent and purposes of that Plan, and are an integral part of codifying the Plan's vision in an effort to strengthen the aesthetics and economics of the downtown area; and

- (d) That the proposed text amendments and map amendments will contribute favorably to the economic development of the Village as a whole.

**Section 3:** That Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 2 (District Regulations), subsection A (Downtown Core), Figure 2.A.2 – Downtown Core Regulating Plan, is amended by deleting the term “Street Level Commercial Required” in the legend of Figure 2.A.2 and replacing it with “Street Level Commercial Allowed.”

**Section 4:** That Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 2 (District Regulations), subsection A (Downtown Core), is further amended by deleting the existing Figure 2.A.6, and replacing it with the revised Figure 2.A.6 attached hereto as **Exhibit A** and made a part hereof.

**Section 5:** That Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 2 (District Regulations), subsection D (Neighborhood General), Figure 2.E.2 – Neighborhood General Regulating Plans is amended by deleting the term “Street Level Commercial Required” in the legend of Figure 2.E.2 and replacing it with “Street Level Commercial Allowed.”

**Section 6:** That Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 3 (General Provisions), subsection A (Uses), Table 3.A.2. is amended by deleting “Package liquor stores” from the list of special uses and adding “Package liquor stores” to the list of prohibited uses, by deleting the words “and used” from the “Automobile and custom van sales (new and used)” special use entry, and by adding “Automobile and custom van sales (used)” to the list of prohibited uses, and by adding “Tobacco, hookah, cigarette, cigar, e-cigarette, and vapor sales establishments, and any related on-site consumption, as a primary use” and “medical marijuana dispensing facility” to the list of prohibited uses.

**Section 7:** That Section XII of the Tinley Park Zoning Ordinance (2011 Legacy Code), Section 3 (General Provisions), subsection F.10.d. (Landscaping, Bufferyards, Properties Adjacent to Non-Legacy Code Area), is amended to read in its entirety as follows:

*“d. Properties Adjacent to Non-Legacy Code Area*

A bufferyard is required between an alley and a parcel located outside of the Legacy Code Area and/or between the rear of any property that has a surface

parking lot and a parcel outside of the Legacy Code Area. The minimum standard shall be a minimum bufferyard of 5’.”

**Section 8:** That the Tinley Park Zoning Map, as amended, be further amended to be consistent with the legal description corrections and rezoning of certain properties legally described and reflected in the illustrations in **Group Exhibit B.**

**Section 9:** That the official zoning map of the Village of Tinley Park, Cook and Will Counties, Illinois, be amended so as to be in conformance with the granting of the legal description corrections and rezoning of certain properties as legally described and reflected in the illustrations in **Group Exhibit B.**

**Section 10:** That the Village Clerk be and is hereby directed to publish this Ordinance in pamphlet form.

**Section 11:** That this Ordinance shall be in full force and effect upon its passage, approval and publication in pamphlet form.

**PASSED** this \_\_\_\_ day of \_\_\_\_\_, 2015, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED** by the President of the Village of Tinley Park on the \_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

**EXHIBIT A**

**REVISED LEGACY CODE FIGURE 2.A.6**

**(ATTACHED)**

### 3. Regulating Plan - Improvements > 50% (DC)

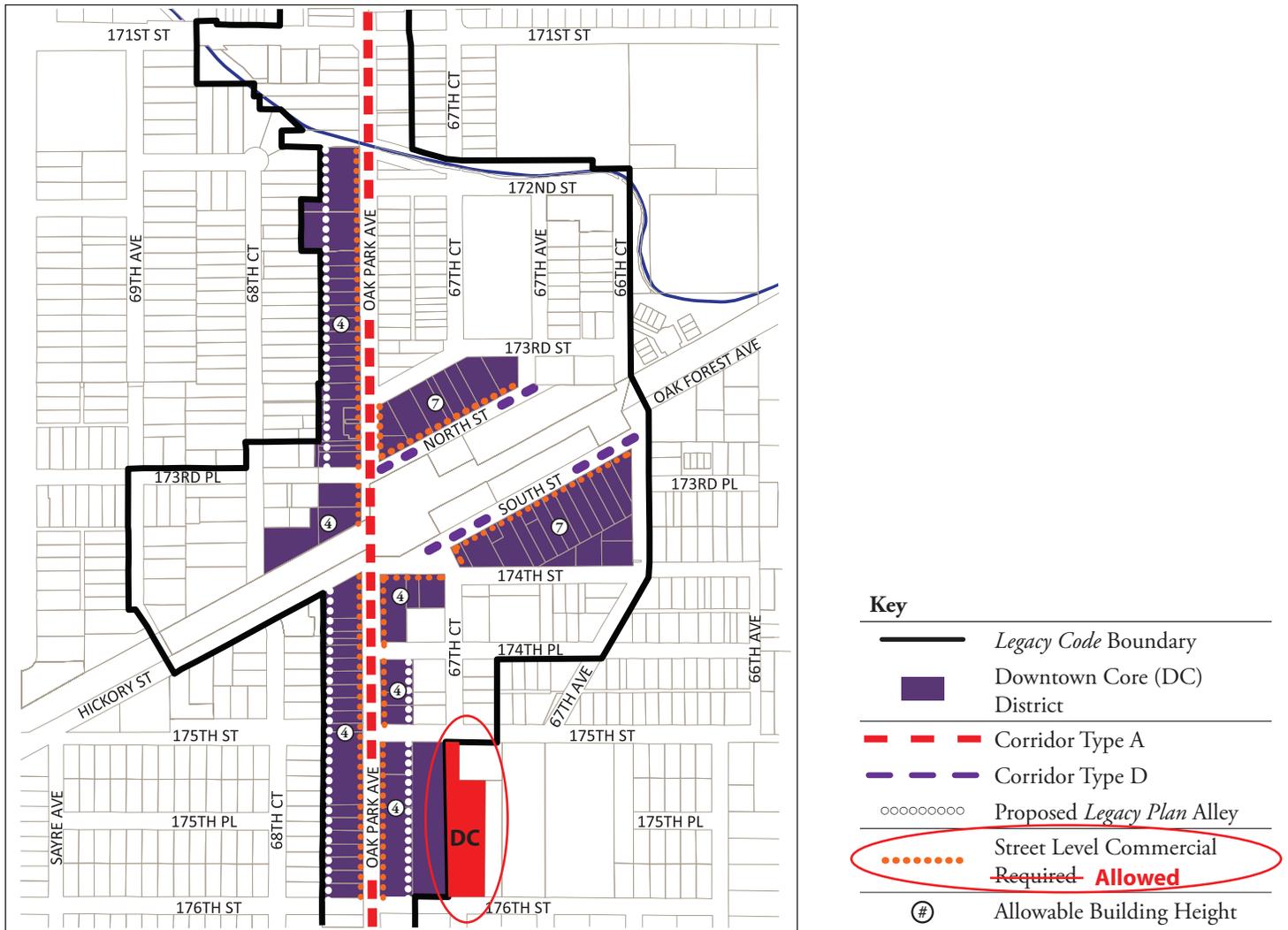


Figure 2.A.2 - Downtown Core Regulating Plan

### 4. General Standards (DC)

Permitted Building Functionality					On-Site Vehicle Parking	On-Site Bike Parking
Street Level Commercial	●				not required	0.2 per 1,000 s.f. (2 minimum)
Second Floor Office	●				2 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Street Level Group Assembly	○				4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Second Floor Group Assembly	●				4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Civic	●				not required	0.2 per 1,000 s.f. (2 minimum)
Residential	●	●	●		1 space per dwelling unit guest parking not required	1 per dwelling unit
A list of Special Uses and Prohibited Uses for the entire Legacy Code Area is located on pages 54-55					Design details for on-site vehicle parking and on-site bike parking are located on pages 58-59	
	Mixed-Use	Stand-Alone Commercial	Multi-Family	Single-Family Attached		
	●		●	●		
	Permitted Building Type					

○ Can not occupy, individually or in aggregate, greater than 50% of a building's street level commercial space.

Table 2.A.1

### 3. Regulating Plan - Improvements > 50% (NF)

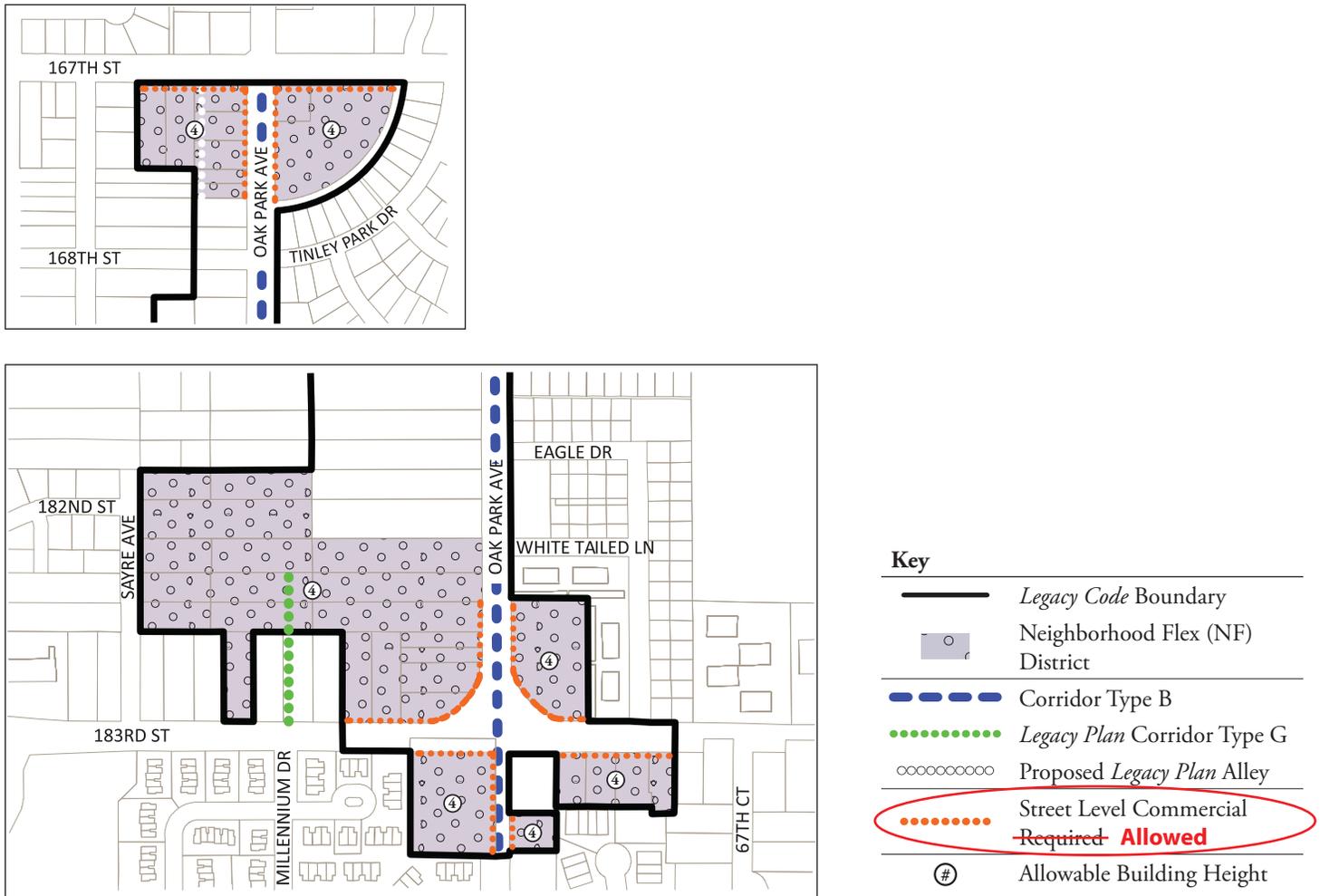


Figure 2.E.2 - Neighborhood General Regulating Plans

### 4. General Standards (NF)

Permitted Building Functionality					On-Site Vehicle Parking	On-Site Bike Parking
Street Level Commercial	●	●			4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Second Floor Office	●	●			4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Street Level Group Assembly	●	●			4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Second Floor Group Assembly	●	●			4 spaces per 1,000 s.f.	0.2 per 1,000 s.f. (2 minimum)
Civic	●	●			<i>not required</i>	0.2 per 1,000 s.f. (2 minimum)
Residential	●		●	●	1 space per dwelling unit	1 per dwelling unit
					.5 guest spaces per dwelling unit	
A list of Special Uses and Prohibited Uses for the entire Legacy Code Area is located on pages 54-55					Design details for on-site vehicle parking and on-site bike parking are located on pages 58-59	
	Mixed-Use	Stand-Alone Commercial	Multi-Family	Single-Family Attached	Single-Family Detached	
	●	●	●	●	●	
	Permitted Building Type					

Table 2.E.1

**6. Thoroughfare**

*a. Medians*

When appropriate, standards will be established by the Village and provided to a developer for implementation.

**7. Public Frontage**

Specific approved public frontage standards for the entire Code area shall be kept on file with the Village. General public frontage standards are listed below:

*a. Downtown Core District*

Shade trees spaced no greater than 25' apart shall be located within the buffer zone and placed within (1) tree grates; (2) raised beds; or (3) integrated seating.

*b. Other Districts*

Shade trees spaced no greater than 25' apart shall be located within the buffer zone and placed within (1) tree grates; or (2) turf parkways.

*c. Street Furniture & Planters*

Street furniture and planters containing annuals and perennials shall be permitted within the buffer zone provided that such objects do not impede pedestrian movement within the sidewalk zone or inhibit the use of on-street parking spaces.

**8. Private Frontage**

*a. Foundation Plantings*

Foundation plantings are permitted provided that the mature size of such plantings will not impede pedestrian movement within the sidewalk zone or at building entrances.

*b. Street Furniture & Plantings*

Street furniture and planters containing annuals and perennials are permitted provided that such objects do not impede pedestrian movement within the sidewalk zone or inhibit the use of building entrances.

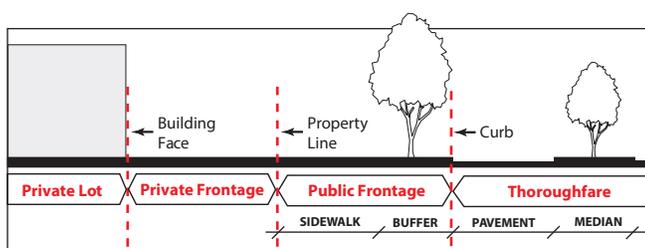


Figure 3.F1

**9. Private Lot**

*a. Interior Landscaping*

Interior landscaping standards shall be per Section 158.14 of the Tinley Park Municipal Code with the following exception:

- Such standards shall also apply to single-family detached residential developments of two (2) or more units.

*b. Parking Lot Landscaping*

Parking lot landscaping standards shall be per Section 158.20 of the Tinley Park Municipal Code.

**10. Bufferyards**

*a. Commercial & Mixed-Use Side Yards*

In order to promote shared parking facilities, properties with a commercial component are not required to provide side yard bufferyards. If proposed, the minimum standard shall be a bufferyard of 5'.

*b. Rear Yards*

A bufferyard shall be provided at the rear of any property that has a surface parking lot that abuts a use outside of the Legacy Code Area. The minimum standard shall be a minimum bufferyard of 5'.

*c. Alley Buffer*

A bufferyard is not required between a parcel within the Legacy Code Area and an alley. If proposed, the maximum standard shall be a bufferyard of 5'.

*d. Properties Adjacent to Non-Legacy Code Area*

~~A bufferyard is required between an alley and a parcel located outside of the Legacy Code Area. The minimum standard shall be a minimum bufferyard of 5'.~~

Bufferyard Width	Minimum Plant Materials (per 50')		
	Shade Trees	Ornamental Trees	Shrubs
5'	2	1	20
10'	2	2	30
15'	2	4	40

Table 3.F1

**A bufferyard is required in the following instances:**

- Between an alley and a parcel located outside the Legacy Code area
- Between the rear of any property that has a surface parking lot and a parcel outside of the Legacy Code area.

**The minimum standard shall be a minimum bufferyard of 5'.**

**GROUP EXHIBIT B**

**REVISED LEGAL DESCRIPTIONS OF THE LEGACY CODE ZONING DISTRICTS  
(DOWNTOWN CORE, DOWNTOWN FLEX, DOWNTOWN GENERAL,  
NEIGHBORHOOD GENERAL, NEIGHBORHOOD FLEX AND CIVIC) AND  
ILLUSTRATIVE DEPICTIONS OF LEGACY CODE ZONING DISTRICT CHANGES**

**(ATTACHED)**

## LEGAL DESCRIPTIONS

### Downtown Core

The property proposed to be rezoned is legally described as follows:

Lots 1 through 10, both inclusive, in Block 4, Lots 1 through 15, both inclusive, in Block 9, Lots 1 through 5, both inclusive, in Block 10, together with the north half of the vacated East-West 20 foot Public Alley lying south of and adjacent to said Lots 1 to 5 in said Block 10, Lots 6 through 7, both inclusive, in Block 10, together with the north half of the vacated East-West 20 foot Public Alley lying north of and adjacent to said Lots 6 to 7 in said Block 10, the West Half of Block 14, all in Village of Bremen, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded June 03, 1853 as document number 42671, in Cook County, Illinois.

Lots 1 and 2 in [Steeve's Stive's](#) Subdivision, being a subdivision of the East 120 feet, lying West of the East line of Block 9 in Village of Bremen, extended South and North of the North line of Market Street and South of the southeasterly line of Block 9 in the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded October 24, 1957 as document number T1765405, in Cook County, Illinois.

That part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, lying north of the north line of Market Street, lying west of the west line of [Steeve's Stive's](#) Subdivision and lying southeasterly of the southeasterly line of Block 9 in the Village of Bremen.

The West 125 feet of the North 125 feet together with the West 125 feet of the South 340 feet of Block 15 in Village of Bremen, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded June 03, 1853 as document number 42671, in Cook County, Illinois.

[Lots 1 and 2 in First Midwest Bank Resubdivision, being a resubdivision of part of Block 15 in the Village of Bremen, being a subdivision of part of the Northeast Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded March 7, 2006 as document number 0606645109, in Cook County, Illinois.](#)

Lots 1 through 12, both inclusive, in Goebel's Subdivision, being a subdivision of the West 155.9 feet of the East 188.9 feet (as measured along the North and South lines thereof) of the Northeast Quarter of the Northwest Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian in Circuit Court Partition, recorded December 10, 1947 as document number T1180279, in Cook County, Illinois.

Lots 1 through 9, both inclusive, in Herman Stoeckman's Subdivision, being a subdivision of the South 443 feet of the East 183 feet of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded November 15, 1895, Book 68, Page 6, in Cook County, Illinois.

Outlot B in Hickory Square, being a resubdivision of part of Lot 9 in Circuit Court Partition, being a subdivision of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian in Circuit Court Partition, recorded August 7, 1987 as document number 87437606, in Cook County, Illinois.

Lots 1 through 6, both inclusive, in Block 1, Lots 1 through 3, both inclusive, in Block 2, except the north 75 feet of the west 175 feet of said Lot 3, in Block 2, all in Christian Andre's Subdivision, being a subdivision of part of the South Half of Lot 1 of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded April 03, 1879, Book 14, Page 48, in Cook County, Illinois.

| Lots 1 and 2 in Spring Fort Hall Subdivision, being a resubdivision of part of [Block Lot 3](#) and part of Lot 4 in McClary's Subdivision and Lot 7 in Polygon Resubdivision, being a subdivision of part of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded February 16, 2007 as document number 0704715058, in Cook County, Illinois.

| Lots 1 through 10, both inclusive, in Block 5, together with that part of [Block Lot 4](#) (except that part lying within J.P. Gallagher's Resubdivision, Spring Fort Hall Subdivision and that part lying within Arkema's Subdivision) and (except the North 49.5 feet of the South 99.00 feet of the East 377 feet, except the East 255.00 feet thereof) in Block 4 in McClary's Subdivision, being a subdivision of the East Half of the North Half of Lot 1 of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded November 26, 1879 as document number 246452, in Cook County, Illinois.

### **Downtown Flex**

The property proposed to be rezoned is legally described as follows:

| Lots 1 through 6, both inclusive, in Breitbarth's Subdivision, being a subdivision of part of the Northwest Quarter [of the Southeast Quarter](#) of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded February 19, 1920 as document number 6740774, in Cook County, Illinois.

The North 34 feet of 172<sup>nd</sup> Street lying east of the east line of Oak Park Avenue and lying west of the west line of 67<sup>th</sup> Court, being in the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, all in the Village of Tinley Park, Illinois, and all that part lying south of Drainage Ditch in the Southwest Quarter of the North 507 feet of the West 997 feet of the Northwest Quarter of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, (except the west 33 feet thereof taken or dedicated for Bachelor Grove Road), said premises being also described as: Commencing at the point of intersection of the east line of Bachelor Grove Road and the north line of Grove Avenue (or Street) as originally located in the Village of Tinley Park; thence north along the east line of Bachelor Grove Road 40 feet to the south line of the land conveyed to the Drainage Commissioners of Union Drainage District by Deed dated December 4, 1909 and recorded

December 14, 1909 in Book 10826, Page 32 as document number 44828349; thence South 71 degrees 21 feet East 126.7 feet to a point on the north line of Grove Street (or Avenue) as originally located 153 feet east of the west line of said Southeast Quarter; thence west 120 feet more or less to the Place of Beginning.

Lots 5 through 11, both inclusive, together with the west half of the vacated North-South 16 foot Public Alley lying east of and adjacent to said Lots 5 to 11

| Together with Lots 40 through 48, both inclusive, together with the [west east](#) half of the vacated North-South 16 foot Public Alley lying east of and adjacent to said Lots 40 to 48

| Together with Lots 59 through 61, both inclusive and south half of Lot 58, together with the [east west](#) half of the vacated North-South 16 foot Public Alley lying west of and adjacent to Lots 59 to 61, and south half of Lot 58, all in Nielsen's Subdivision, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded February 19, 1920 as document number 6740774, in Cook County, Illinois.

Lots 1 through 3, both inclusive, in Block 3 together with Lots 1 to 6, both inclusive, in Block 5 in Village of Bremen, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded June 03, 1853, in Cook County, Illinois.

| Lots 1 through 3, both inclusive (except that part lying within Polygon Resubdivision and that part lying within Spring Fort Hall Subdivision [and that part lying within J.P. Gallagher's Resubdivision](#)) in McClary's Subdivision, being a subdivision of the East Half of the North Half of Lot 1 of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded November 26, 1879 as document number 246452, in Cook County, Illinois.

| Lot [5 and](#) 6, in Block 3, in Christian Andre's Subdivision, being a subdivision of part of the South Half of Lot 1 of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded April 03, 1879, Book 14, Page 48, in Cook County, Illinois.

Lots 1 through 4, both inclusive, together with the west half of the vacated 16 foot North-South Public Alley lying east of and adjacent to said Lots 1 to 4, all in Boldt's Subdivision, being a subdivision of the South 200 feet of the West 266 feet of Block 2 in Village of Bremen, in Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded November 27, 1899, Book 78, Page 2, in Cook County, Illinois.

## **Downtown General**

The property proposed to be rezoned is legally described as follows:

Lots 12 through 18, both inclusive, together with the east half of the vacated North-South 16 foot Public Alley lying west of and adjacent to said Lots 12 to 18, together with Lots 23 through 39,

both inclusive, together with the North-South vacated 14 foot Public Alley lying adjacent to Lots 23 to 36 and together with the East-West vacated 14 foot Public Alley lying adjacent to Lots 23, 36 37 and 39 together with Lots 49 to ~~57~~ 56, both inclusive, together with the north half of Lot 58, together with the ~~east west~~ half of the vacated North-South 16 foot Public Alley lying west of and adjacent to the north half of Lot 58 and Lots 51 to 57 and the ~~west east~~ half of the vacated North-South 16 foot Public Alley lying east of and adjacent to Lots 49 and Lot 50, all in Nielsen's Subdivision, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded February 19, 1920 as document number 6740774, in Cook County, Illinois.

The East Half of Block 14, together with Lots 4, 8, 9 and 10, in Block 11, except the east 48 feet of said Lot 8, in Block 11, together with the south half of Lots 1 through 3, both inclusive, in Block 11, together with that vacated street (Graben Strase) described as part of the Village of Bremen subdivision lying west of a line 60 feet westerly of and parallel with the easterly right of way line of 67<sup>th</sup> Avenue as heretofore dedicated in Vogt's Addition to Tinley Park, lying south of the easterly prolongation of the north line of the south half of Block 11 and lying north of the north line of 174<sup>th</sup> Place, all in Village of Bremen, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded June 03, 1853 as document number 42671, in Cook County, Illinois.

Lots 6 through 9, both inclusive, together with the west half of the North-South 16 foot Public Alley lying east of and adjacent to said Lots 6 to 9, all in WM Lawrenz Subdivision, being a resubdivision of Block 13 in Village of Bremen, a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded April 04, 1910 as document number 4534716, in Cook County, Illinois.

Lots 1 and 2 in Ameritech Illinois Tinley Park Resubdivision, being a resubdivision of Lots 5, 6, 7 and part of Lot 8 in Block 11 in Village of Bremen, a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded December 23, 1998 as document number 08169276, in Cook County, Illinois.

Lots A and B in Vandenberg's Subdivision, being a resubdivision of Lot 45 in Vogt's Addition to Tinley Park and part of Lot 1 in Village of Bremen, together with vacated Street lying easterly of and adjacent to the north half of aforesaid Lot 1, in the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded February 3, 1982 as document number 26133027, recorded February 3, as document number T3263394 and recorded June 17, 1982 as document number 26263076 in Cook County, Illinois.

Lots 3 through 11, both inclusive, in John M. Rauhoff's Subdivision, being a subdivision of part of the south half of Lots 1 and 2 of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded July 12, 1909 as document number 4404934, in Cook County, Illinois.

Lots 9 through 16, both inclusive, in Andres Subdivision, being a resubdivision of Lot 9 in Block 3 of Christian Andres Subdivision of a part of the south half of Lot 1 of the Southwest Quarter of

Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded November 23, 1897, Book 74, Page 44, in Cook County, Illinois.

~~Lot 1, Except the west 125 feet thereof and Lot 2, except the west 125 feet thereof, all in First Midwest Bank Resubdivision, being a resubdivision of part of Block 15 in the Village of Bremen, being a subdivision of part of the Northeast Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded March 07, 2006 as document number 0606645109, in Cook County, Illinois.~~

Lots 1 through 6, both inclusive, together with the east half of the North-South Public Alley lying west of and adjacent to said Lots 1 to 6, all in St. George Place, being a resubdivision of Lots 5, 6, 7 and 8 in Boldt's Subdivision, being a subdivision of part of the Southeast Quarter of Section ~~30~~ 34, Township 36 North, Range 13 East of the Third Principal Meridian, recorded September 13, 1995 as document number 95615291, in Cook County, Illinois.

Lot A, in a subdivision of part of Block 3 in John M. Rauhoff's Plat of Blocks 1, 2, 3, and 4 being a subdivision of part of the South Half of Lots 1 and 2 of the Southwest Quarter of Section 30, and part of the North Half of Lot 2 of the Northwest Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded May 13, 1915 as document number 5632986, in Cook County, Illinois.

### **Neighborhood General**

Lots 1, 2, 7, 8, 9, in Block 1, in Parkside, being a subdivision of the Northeast Quarter, except the South 330 feet of the West 330 feet thereof, of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded January 10, 1947 as document number 13974008, in Cook County, Illinois.

Lot 3 in Marquardt's Subdivision, being a subdivision of the South 180 feet of the West 330 feet of the Northeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded November 26, 1958 as document number 17388889, in Cook County, Illinois.

The West 165 feet of the North 100 feet of the South 330 feet of the Northeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, Cook County, Illinois.

The West 165 feet of the South 50.00 feet of the North 150 feet of the South 330 feet of the Northeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, Cook County, Illinois.

Lots 141 through 160, both inclusive, in O. Rueter & Co's. Tinley Park Gardens, being a subdivision of the South 60 acres of the West Half of the Northeast Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, Cook County, Illinois, recorded November 19, 1924 as document number 8677040.

Lot 1, in O'Donnells's Resubdivision, being a resubdivision of Lot 1 in Butler's Subdivision, being a subdivision of the North 533 feet of the West 250 feet of the Southeast Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded December 6, 1979 as document number 25271434, in Cook County, Illinois.

Lots 14 through 25, both inclusive, in Goebel's Subdivision, being a subdivision of the West 155.9 feet of the East 188.9 feet (as measured along the North and South lines thereof) of the Northeast Quarter of the Northwest Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian in Circuit Court Partition, recorded December 10, 1947 as document number T1180279, in Cook County, Illinois.

Lot 1 and Lot 16, in Tinley South Resubdivision, being a resubdivision of Lots 2, 3 and 4 in Block 5 in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian recorded June 16, 1976 as document number 23522845, in Cook County, Illinois.

Lot 1 and Lot 12, in Brianne's Resubdivision, being a resubdivision of Lots 5 and 6 in Block 5 together with the vacated Street, all in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian recorded June 3, 1994 as document number 94599909, in Cook County, Illinois.

Lot 1, except the west 363 feet thereof, in Block 5; Lots 1 through 6, both inclusive, in Block 6; together with the north half of the vacated 181<sup>st</sup> Street lying south of and adjacent to said Lot 6, in Block 6, all in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded January 21, 1928 as document number 10262889, in Cook County, Illinois.

Lot 5 and Lot 6 in Block 1; Lots 1 through 6, both inclusive, in Block 6; Lots 7, 8, 10 and 11, except the west 200 feet thereof, in Block 6; Lots 1 through 6, both inclusive, in Block 7; the east 125 feet of Lots 7, 8, and 9, in Block ~~7~~ 6 and the east 200 feet of Lot 11 in said Block 7; Lot 1 to Lot 22, both inclusive and the east 5.20 feet of Lot 23, the south half of the East-West 20 foot Public Alley lying north of and adjacent to Lots 20, 21, 22 and the east 5.20 feet of Lot 23, and 22, the south 70 feet of the east 125 feet of Lot 31, the north half of the East-West 20 foot Public Alley lying south of and adjacent to the south 70 feet of the east 125 feet of Lot 31, the north 60 feet of the east 125 feet of Lot 33 and the East 125 feet of Lot 34, all in Block 12 in Elmore's Oak Park Avenue Estates, being a subdivision in the Northwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, except that part of drainage ditch conveyed by document number 377150, all in Cook County, Illinois, recorded April 25, 1929 as document number 10351098.

Lot 1, except the west 447 feet thereof; Lots 2, 3, 4 and 5, all in Block 1; Lot 4 and the east 260 feet of Lot 5, all in Block 2, all in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of the Southwest Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded January 21, 1928 as document number 10262889, in Cook County, Illinois.

Lot 2 in Wesolowski's Resubdivision, being a resubdivision of Lot 6 in Block 2 in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded September 21, 1978 as document number 24636783, in Cook County, Illinois.

Lots 1 through 5, both inclusive, in Therese's Resubdivision, being a resubdivision of Lot 3 in Block 2 in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded May 9, 1972 as document number 21896053, in Cook County, Illinois.

### **Neighborhood Flex**

Lot 14 in Plat of Subdivision, being a subdivision of heretofore vacated Lots 14 to 40, both inclusive, Block 3, together with, the public walk between Lots 23 and 24 and public alley between Lots 32 to 40, inclusive, of Block 3, together with Broad Street from the east line of Oak Park Avenue to the south line of 167<sup>th</sup> Street, all in Parkside Subdivision, all in Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded December 13, 1957 as document number 17089200, in Cook County, Illinois.

Lot 26 in Eagle's Nest Unit 2 Resubdivision, being a resubdivision of Outlot A in Eagle's Nest of Tinley Park Unit 1, being a subdivision of part of the West Half of the Southeast Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded June 16, 1993 as document number 93457216, in Cook County, Illinois

Lots 1 through 4, both inclusive, together with Lots 11 and 12, all in Block 1, in Elmore's Oak Park Avenue Estates, being a subdivision of the Northwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, except that part of drainage ditch conveyed by document number 377150, all in Cook County, Illinois, recorded April 25, 1929 as document number 10351098.

Lots 1 through 8, both inclusive, Lot 12 and Lots 16 through 18, both inclusive, in Block 10, together with the south half of the vacated 182<sup>nd</sup> Street lying north of and adjacent to said Lots 1 and 18, in Block 10, together with Lots 7 and 8 in Block 9, together with the north half of the vacated 182<sup>nd</sup> Street lying south of and adjacent to said Lot 7, in Block 9, all in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of the Southwest Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded January 21, 1928 as document number 10262889, in Cook County, Illinois.

The North 400.00 feet of the West 238.00 feet of the East 491.19 feet of the Northeast Quarter of the Northwest Quarter of Section 6, Township 35 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois.

Lot 2 except the south 22 feet thereof, together with the south 22 feet of Lot 1, in Miller's Subdivision, being a subdivision of the East 203.19 feet of the Northeast Quarter of the Northwest Quarter of Section 6, Township 35 North, Range 13 East of the Third Principal Meridian, recorded June 13, 1946 as document number 13820113, in Cook County, Illinois.

The North 233 feet of the West 100 feet (except the north 50.00 feet thereof) of the Northwest Quarter of the Northeast Quarter of Section 6, Township 35 North, Range 13 East of the Third Principal Meridian and north of the Indian Boundary Line, in Cook County, Illinois.

The North 233 feet of the West 200 feet (except the West 100 feet thereof) and (except the North 50 feet thereof) of the Northwest Quarter of the Northeast Quarter of Section 6, Township 35 North, Range 13 East of the Third Principal Meridian and north of the Indian Boundary Line in Cook County, Illinois.

That part of the Northwest Quarter of the Northeast Quarter of Section 6, Township 35 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois described as follows:

Beginning on the north line of the Northwest Quarter of the Northeast Quarter of said Section 6, a distance of 315.00 feet east of the northwest corner thereof; thence South 185.00 feet; thence East 10.00 feet; thence South 46.00 feet to the south line of the north 233 feet of the Northwest Quarter of the Northeast Quarter of said Section 6; thence west along said south line, 125.00 feet to the east line of the west 200.00 feet of the Northwest Quarter of the Northeast Quarter of said Section 6; thence north along said east line, 233.00 feet to the north line of the Northwest Quarter of the Northeast Quarter of said Section 6, thence east along said north line, 115.00 feet to the Point of Beginning (except the North 50.00 feet thereof).

A parcel of land situated in the Northwest Quarter of the Northeast Quarter North of the Indian Boundary Line in Section 6, Township 35 North, Range 13 East of the Third Principal Meridian, described as follows:

Commencing at a point on the north line of said Section 6, 315.00 feet east of the northwest corner of the Northeast Quarter; thence South 185.00 feet; thence East 10.00 feet; thence South 72.00 feet; thence East 75.00 feet; thence North 257.00 feet; thence West 85.00 feet, to the Point of Beginning (except the north 50.00 feet thence dedicated for street purposes by document number 95-843986), in Cook County, Illinois.

## **Civic**

Lots 1 through 6, both inclusive, in Block 9, together with the north half of the vacated 182<sup>nd</sup> Street lying south of and adjacent to said Lot 6, in Block 9, together with the south half of the vacated 181<sup>st</sup> Street lying north of and adjacent to said Lot 1, in Block 9 all in Elmore's Harlem Avenue Estates, being a subdivision in the West Half of the Southwest Quarter of Section 31, Township 36 North, Range 13 East of the Third Principal Meridian, recorded January 21, 1928 as document number 10262889, in Cook County, Illinois.

Lots 8 through 10, both inclusive, in Block 10, together with the south half of the vacated East-West 20 foot Public Alley lying north of and adjacent to said Lots 8 and 10 in said Block 10, all in Village of Bremen, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded June 03, 1853 as document number 42671, in Cook County, Illinois.

That part of the West Half of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian described as follows: lying west of the westerly line of 66<sup>th</sup> Court, lying northwest of the northwesterly line of South Street, lying north of the north line of Market Street, lying east of the east line of Oak Park Avenue, lying southeast of the southeasterly line of North Street and lying south of the south line of Lots 1 through 5, both inclusive, in Block 5, all in [Village of Bremen Breitbarth's Subdivision](#), being a subdivision of part of the [Northwest Southeast](#) Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded February 19, 1920 as document number 6740774, in Cook County, Illinois,

The North Half of Lots 1 through 3, both inclusive, in Block 11, (except that part lying within Vanderberg's Subdivision) all in Village of Bremen, being a subdivision of part of the Southeast Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded June 03, 1853 as document number 42671, in Cook County, Illinois.

Lot 8 and the north 75 feet of the west 175 feet of Lot 3, in Block 2, all in Christian Andre's Subdivision, being a subdivision of part of the South Half of Lot 1 of the Southwest Quarter of Section 30, Township 36 North, Range 13 East of the Third Principal Meridian, recorded April 03, 1879, Book 14, Page 48, in Cook County, Illinois.

THIS AREA HAS BEEN ADDED TO LEGAL DESCRIPTION OF DOWNTOWN CORE

36-13-31A  
28-31

W 1/2 NE 1/4 SEC 31-36-13  
BREMEN

"A"  
VILLAGE OF BREMEN, a sub. to Sections 30 & 31-36-13

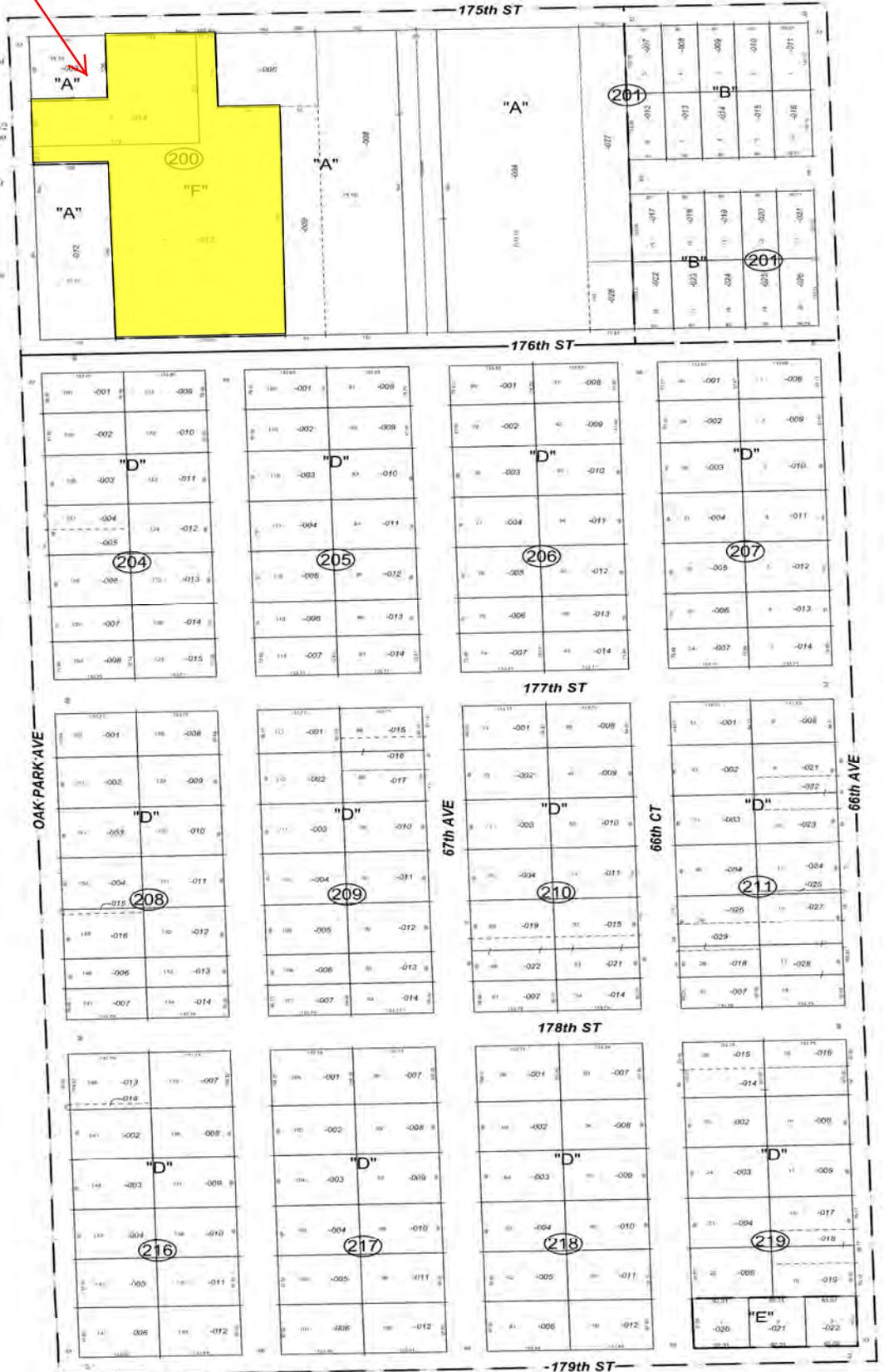
"B"  
WILLIAM A. WILKINS ADD. TO TINLEY PARK in the S.W. 1/4 of the N.E. 1/4 of Sec. 31-36-13. Rec. Jan 24, 1955 Doc. 16280026.

"C"  
CIRCUIT COURT PARTITION of the S. 60 acs. of the W. 1/2 of the N.E. 1/4, also the N. 1/2 of the S.E. 1/4; also the N. 1/2 of the S. 1/2 of the N.W. 1/4 S. of the C.R.I. & P.R.R. of Sec. 31, also that part of the S. 1/2 of Lots 1 & 2 of the S.W. 1/4 of Sec. 30, S. of the C.R.I. & P.R.R.; also 35 acs. off the S. end of the E. 35 acs. of the E. 1/2 of the N.E. 1/4 of Sec. 29 (except the E. 9 acs.); Rec. May 22, 1895 Doc. CN108560.

"D"  
O. RUETER & CO S. TINLEY PARK GARDENS, a sub. of the S. 60 acs. of the W. 1/2 of the N.E. 1/4 of Sec. 31-36-13 in Circuit Court Partition (see C). Rec. Nov 19, 1924 Doc. 4677040.

"E"  
RBT DEVELOPMENT RESUBDIVISION, of Lots 20 & 21 in O. Rucker and Company's Tinley Park Gardens (See "D") Rec. Sep 1, 2005 Doc. 0524430005.

"F"  
FIRST MIDWEST BANK RESUBDIVISION, of part of Blk 15 in the Village Of Bremen (See "A") Rec. Mar 7, 2006 Doc. 0606645109.



THESE 2 AREAS HAVE ALREADY BEEN INCLUDED  
IN LEGAL DESCRIPTION OF DOWNTOWN CORE

36-13-31A  
28-31

W 1/2 NE 1/4 SEC 31-36-13  
BREMEN

"A"  
VILLAGE OF BREMEN, a sub. to Sections 30, 31-36-13

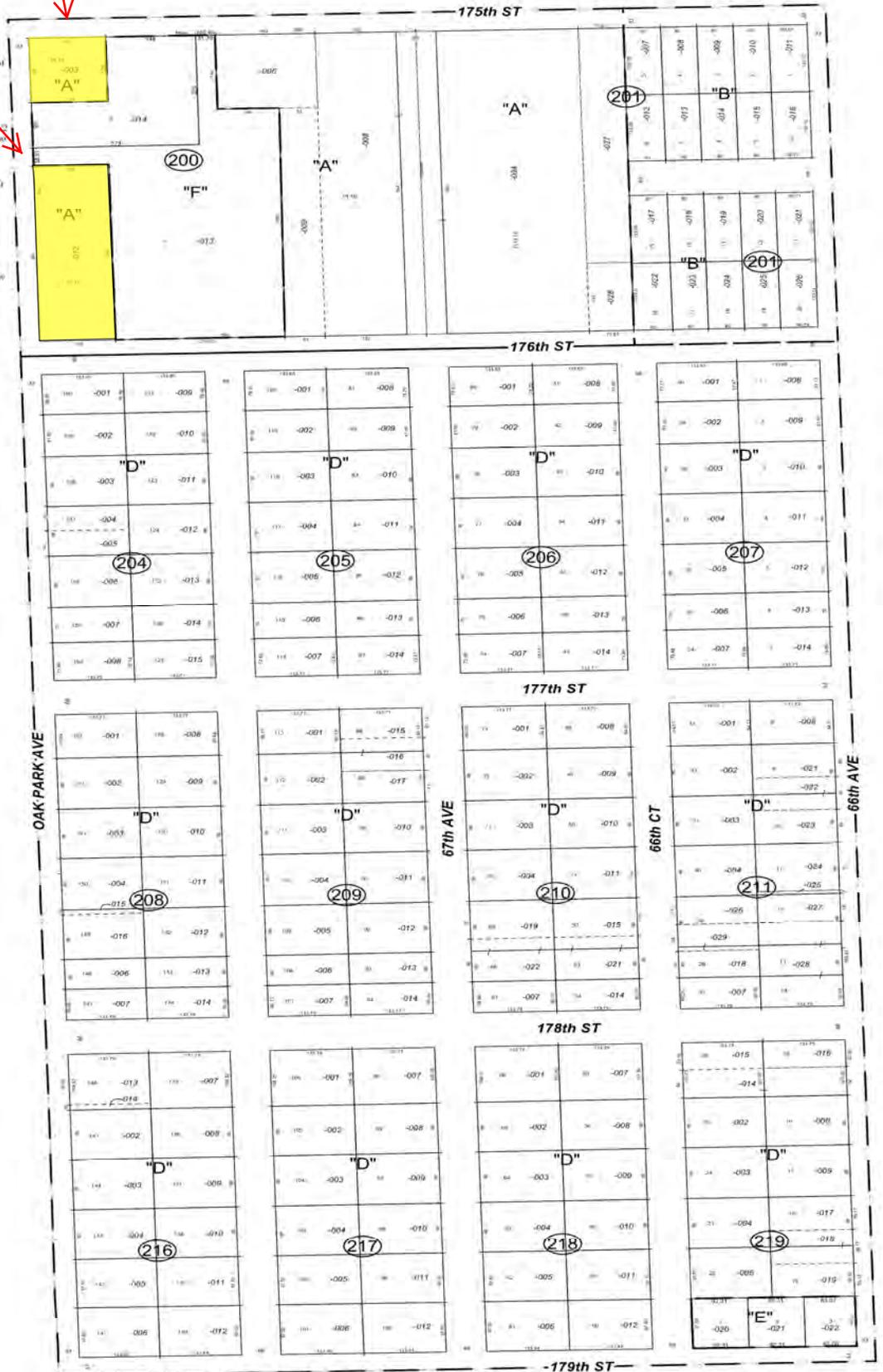
"B"  
WILLIAM A. WILKINS ADD. TO TINLEY PARK, in the N.W. 1/4 of the N.E. 1/4 of Sec. 31-36-13. Rec. Jan 24, 1955 Doc. 06280026.

"C"  
CIRCUIT COURT PARTITION of the S. 60 acs. of the W. 1/2 of the N.E. 1/4, also the N. 1/2 of the S.E. 1/4, also the N. 1/2 of the S. 1/2 of Lot 2 of the N.W. 1/4, also that part of the N. 1/2 of Lots 1 & 2 of the N.W. 1/4 S. of the C.R.I. & P.R.R. of Sec. 31, also that part of the S.E. 1/4 of Lots 1 & 2 of the S.W. 1/4 of Sec. 30, S. of the C.R.I. & P.R.R., also 35 acs. off the S. end of the E. 35 acs. of the E. 1/2 of the N.E. 1/4 of Sec. 29 (except the E. 9 acs.). Rec. May 22, 1895 Doc. CN108560.

"D"  
O. RUEYER & CO S. TINLEY PARK GARDENS, a sub. of the S. 60 acs. of the W. 1/2 of the N.E. 1/4 of Sec. 31-36-13 in Circuit Court Partition (see C). Rec. Nov 19, 1924 Doc. 8677040.

"E"  
RBT DEVELOPMENT RESUBDIVISION, of Lots 20 & 21 in O. Rucker and Company's Tinley Park Gardens (See "D") Rec. Sep 1, 2005 Doc. 0524430005.

"F"  
FIRST MIDWEST BANK RESUBDIVISION, of part of Blk 15 in the Village Of Bremen (See "A") Rec. Mar 7, 2006 Doc. 0606645109.



THIS AREA HAS BEEN STRUCK OUT OF  
LEGAL DESCRIPTION OF DOWNTOWN GENERAL

36-13-31A  
28-31

W 1/2 NE 1/4 SEC 31-36-13  
BREMEN

"A"  
VILLAGE OF BREMEN, a sub. to Sections 30 & 31-36-13

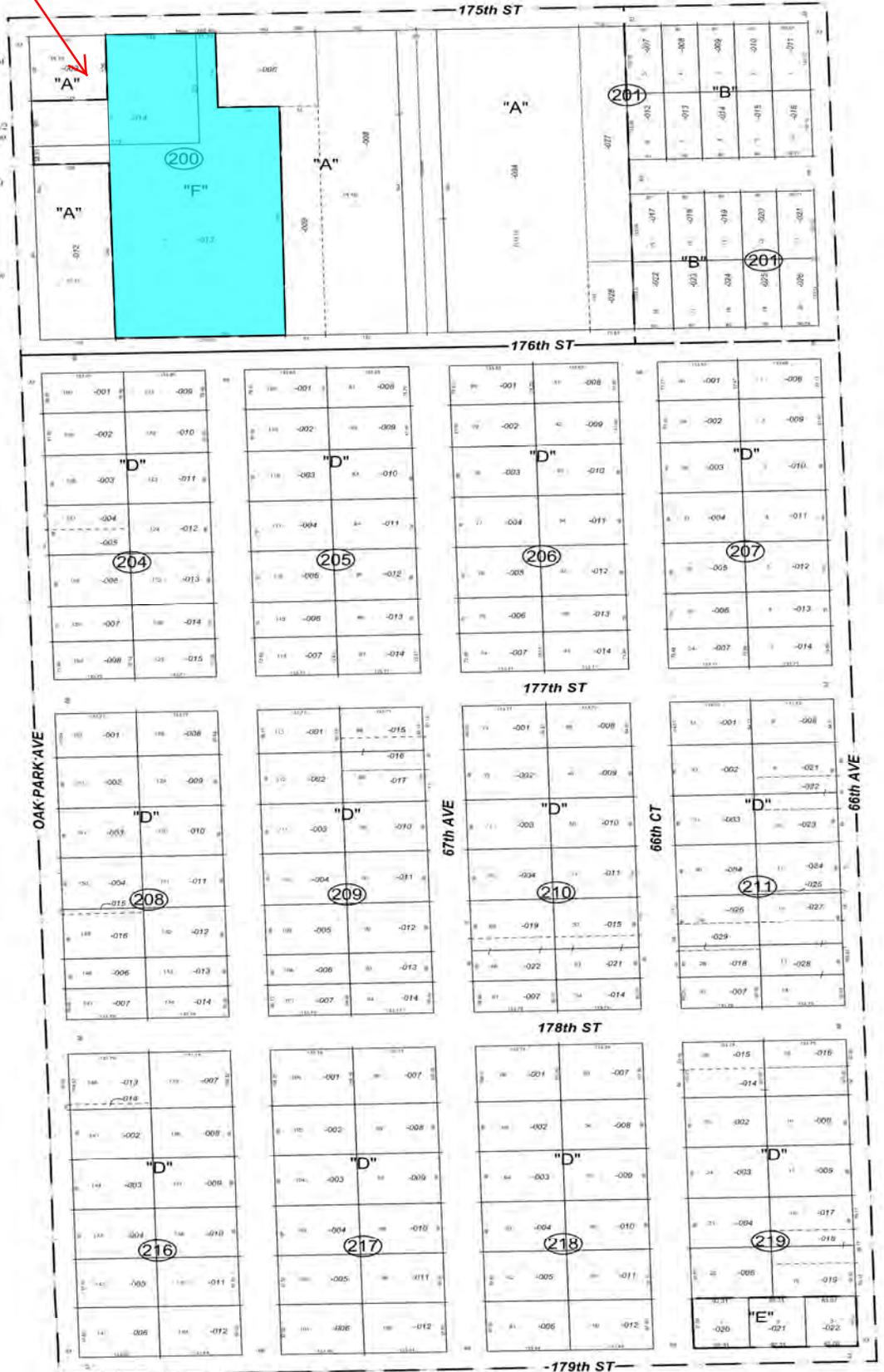
"B"  
WILLIAM A. WILKINS ADD. TO TINLEY PARK in the S.W. 1/4 of the N.E. 1/4 of Sec. 31-36-13. Rec. Jan 24, 1955 Doc. 16280026.

"C"  
CIRCUIT COURT PARTITION of the S. 60 acs. of the W. 1/2 of the N.E. 1/4, also the N. 1/2 of the S.E. 1/4, also the N. 1/2 of the S. 1/2 of the N.W. 1/4, also that part of the N. 1/2 of Lots 1 & 2 of the S.W. 1/4, S. of the C.R. 1. & P.R.R. of Sec. 31, also that part of the S. 1/2 of Lots 1 & 2 of the S.W. 1/4 of Sec. 30, S. of the C.R. 1. & P.R.R. also 35 acs. off the S. end of the E. 35 acs. of the E. 1/2 of the N.E. 1/4 of Sec. 29 (except the E. 9 acs.). Rec. May 22, 1895 Doc. CN108560.

"D"  
O. RUEFER & CO S. TINLEY PARK GARDENS, a sub. of the S. 60 acs. of the W. 1/2 of the N.E. 1/4 of Sec. 31-36-13 in Circuit Court Partition (see C). Rec. Nov 19, 1924 Doc. 8677040.

"E"  
RBT DEVELOPMENT RESUBDIVISION, of Lots 20 & 21 in O. Rucker and Company's Tinley Park Gardens (See "D") Rec. Sep 1, 2005 Doc. 0524430005.

"F"  
FIRST MIDWEST BANK RESUBDIVISION, of part of Blk 15 in the Village Of Bremen (See "A") Rec. Mar 7, 2006 Doc. 0606645109.



THIS AREA HAS NOW BEEN  
"EXCEPTED OUT" IN LEGAL  
DESCRIPTION FOR DOWNTOWN FLEX

E 1/2 SW 1/4 SEC 30-36-13  
BREMEN

36-13-30F  
28-30



- "A"  
CIRCUIT COURT PARTITION in Sections 29, 30, and 31-36-13.  
Cort. Contr. Rec. May 22, 1893 Doc. 105850.
- "B"  
THIES' FIRST ADD. TO TINLEY PARK, a sub. of part of the N. 1/2 of  
the S.W. 1/4 of Sec. 30-36-13. Rec. Apr 9, 1953 Doc. 15588158.
- "C"  
JOHN M. RAUHOFF'S SUB. of part of the S. 1/2 of Lots 1 & 2 of the  
S.W. 1/4 of Sec. 30-36-13, beginning at a point 380 ft. S. of the N.E.  
corner of Lot 10 of Bk. 3 of Christian Andrew Sub., running thence S.  
on the E. line of said Lot 10, 460 ft., then cc W. 190 ft., thence S. 16 ft.,  
thence W. 1025 ft., thence N. 880.84 ft. to the N. line of the S. 1/2 of  
Lot 2 of said S.W. 1/4, thence E. on the N. line of the S. 1/2 of Lots 2 &  
3 of said S.W. 1/4, 121.5 ft. to the E. line of Lot 10 of Bk. 3, thence S.  
401.20 ft. to point of beginning. Rec. Jul 12, 1909 Doc. 4404934.
- "D"  
JOHN M. RAUHOFF'S PLAT of Bkts. 1, 2, 3, & 4, a sub. of part of the  
S. 1/2 of Lots 1 and 2 of the S.W. 1/4 of Sec. 30 and part of the N. 1/2 of  
Lot 2 of the N.W. 1/4 of Sec. 30-36-13. Rec. Jul 12, 1909 Doc.  
4404933.
- "E"  
CHRISTIAN ANDRES SUB. of part of the S. 1/2 of Lot 1 of the  
S.W. 1/4 of Sec. 30-36-13. Book 14, Page 48. Rec. Apr 3, 1879.
- "F"  
McCLARY'S SUB. of the E. 1/2 of the N. 1/2 of Lot 1 of the S.W. 1/4 of  
Sec. 30. Rec. Nov 26, 1879 Doc. 246452.
- "G"  
ANDRES SUB. of Lot 9 in Bk. 3 of Christian Andrew Sub. of a part of  
the S. 1/2 of Lot 1 of the S.W. 1/4. Book 74, Page 44. Rec. Nov 23,  
1897.
- "H"  
HERMAN STOECKMANN'S SUB. of the S. 445 ft. of the E. 183 ft. of  
the S.W. 1/4 of Sec. 30-36-13. Book 68, Page 6. Rec. Nov 15, 1898.
- "I"  
SUB. of a part of Bk. 3 in John M. Rauhoff's Plat of Bkts. 1, 2, 3, 4,  
being a sub. of part of the S. 1/2 of Lots 1 & 2 of the S.W. 1/4 of Sec. 30  
and of part of the N. 1/2 of Lot 2 of the N.W. 1/4 of Sec. 31-36-13.  
Rec. May 13, 1915 Doc. 5632986.
- "K"  
ARKEMA'S SUB. of part of Bk. 4 in McClary's Sub. (See F). Rec.  
May 5, 1967 Doc. 20128546.
- "L"  
TINLEY TERRACE WEST, a Sub. of pt. of Bk. 3 in John M.  
Rauhoff's Plat of Bkts. 1, 2, 3 & 4 (See D). Rec. Mar 19, 1970 Doc.  
21115638.
- "M"  
HECKORY SQUAR, a Sub. of pt. of Lot 9 in Christian Court  
Partition (see A). Rec. Aug 24, 1987 Doc. 87466293  
Rec. Aug 7, 1987 Doc. 87437606.
- "N"  
POLYGON RESUB. of pt. of Bkts. 2 & 3 in McClary's Sub. (See F).  
Rec. Jun 26, 1995 Doc. 95410645.
- "O"  
J.P. GALLAGHER'S RESUB. of pt. of Bkts 3 & 4 in McClary's Sub.  
(see F). Rec. Nov 5, 1998 Doc. 96001397.
- "P"  
SPRING FORT HALL SUB. of Part of Lot 3 and Part of Lot 4 in  
McClary's Sub (See "F") and Lot 7 of Polygon Resub (See "N"). Rec.  
Feb 16, 2007 Doc. 0704715058.
- CONDOMINIUM: 28-30-301-054  
OLD TINLEY ARMS CONDO  
Rec. 12/13/2005 Doc. 0534718069
- | Unit             | Unit             |
|------------------|------------------|
| Basement 1 = 100 | Basement 2 = 100 |
| 1A = 1003        | 1B = 1004        |
| 1C = 1005        | 1D = 1006        |
| 2SE = 1010       | 3SE = 1011       |
| 3NW = 1012       | 3NW = 1013       |
| 3NE = 1014       |                  |
- CONDOMINIUM: 28-30-301-056  
SPRING FORT HALL CONDO  
Rec. 2/16/2007 Doc. 0704715059
- | Unit         | Unit         | Unit        |
|--------------|--------------|-------------|
| C-101 = 100  | R-305 = 1017 | G-13 = 1033 |
| C-102 = 1002 | R-306 = 1018 | G-14 = 1034 |
| C-103 = 1003 | R-401 = 1019 | G-15 = 1035 |
| C-104 = 1004 | R-402 = 1020 | G-16 = 1036 |
| C-105 = 1005 | G-1 = 1021   | G-17 = 1037 |
| C-106 = 1006 | G-2 = 1022   | G-18 = 1038 |
| R-201 = 1007 | G-3 = 1023   | G-19 = 1039 |
| R-202 = 1008 | G-4 = 1024   | G-20 = 1040 |
| R-203 = 1009 | G-5 = 1025   | G-21 = 1041 |
| R-204 = 1010 | G-6 = 1026   | G-22 = 1042 |
| R-205 = 1011 | G-7 = 1027   | G-23 = 1043 |
| R-206 = 1012 | G-8 = 1028   | G-24 = 1044 |
| R-301 = 1013 | G-9 = 1029   | G-25 = 1045 |
| R-302 = 1014 | G-10 = 1030  | G-26 = 1046 |
| R-303 = 1015 | G-11 = 1031  |             |
| R-304 = 1016 | G-12 = 1032  |             |
- CONDOMINIUM: 28-30-308-028  
Park Oaks Residential Condo  
Rec. 2/26/2003 Doc. 003026821  
Rec. 4/8/2004 Doc. 0409910048
- | Unit       | Unit       | Unit       |
|------------|------------|------------|
| 2NE = 1001 | 2SE = 1003 | 3NE = 1005 |
| 3SE = 1007 | 2NW = 1002 | 2SW = 1004 |
| 3NW = 1006 |            |            |
- CONDOMINIUM: 28-30-308-029  
Park Oaks Commercial Condo  
Rec. 2/26/2003 Doc. 0030268214  
Rec. 4/8/2004 Doc. 0409910049
- | Unit         | Unit         |
|--------------|--------------|
| 17314 = 1001 | 17320 = 1006 |
| 17316 = 1002 | 17322 = 1008 |

THIS AREA HAS BEEN ADDED  
TO LEGAL DESCRIPTION FOR  
DOWNTOWN FLEX

THIS AREA HAS BEEN ADDED TO  
LEGAL DESCRIPTION FOR DOWNTOWN GENERAL

36-13-30G  
28-30

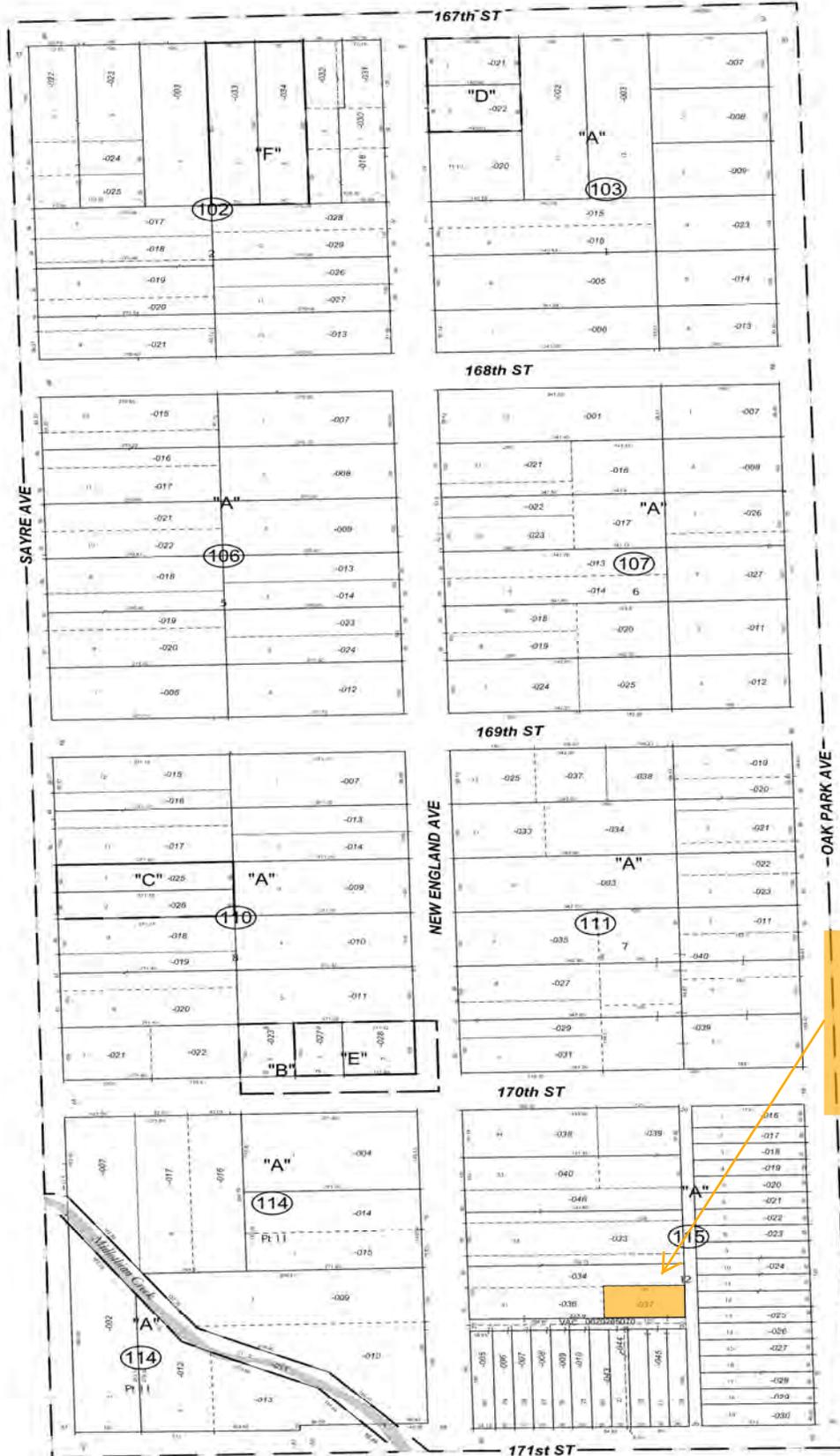
W 1/2 SE 1/4 SEC 30-36-13  
BREMEN

- "A"  
BREITBARTH'S SUB. of part of the N.W. 1/4 of Sec. 30-36-13.  
Rec. Feb 19, 1920 Doc. 6740774.
  - "B"  
VILLAGE OF BREMEN in Sections 30 & 31-36-13.
  - "C"  
NIELSEN'S SUB. (except the S. 200 ft. of the W. 266 ft.) of Blk. 2 in  
Village of Bremen (see B). Book 62, Page 25. Rec. Oct 16, 1894  
Doc. 2118155.
  - "D"  
HOLDT'S SUB. of the S. 200 ft. of the W. 266 ft. of Blk. 2 in Village  
of Bremen (see B). Book 78, Page 2. Rec. Nov 27, 1899.
  - "E"  
STIVE'S SUB. of the E. 120 ft. lying W. of the E. line of Blk. 9 in  
Bremen Sub. (see B) extended S. and N. of the N. line of Market St. and  
S. of the S.E. 1/4 line of Blk. 9 in the S.E. 1/4 of Sec. 30-36-13. Rec.  
Oct 24, 1957 Doc. T1765405.
  - "F"  
ELMORE'S TINLEY PARK SUB. in Sections 30 & 31-36-13. Rec.  
Sep 12, 1952 Doc. T1422520.
  - "G"  
VOGTS ADD. TO TINLEY PARK in the S.E. 1/4 of Sec. 30-36-13.  
Rec. Nov 15, 1912 Doc. 127639.
  - "H"  
WM. LAWRENZ SUB. of Blk. 13 in Village of Bremen (see B).  
Rec. Apr 4, 1910 Doc. 4534716.
  - "I"  
DOUBLE R SUB. of parts of Lots 6, 7 and 8 in Village of Bremen  
(see B). Rec. Mar 20, 1969 Doc. T2440847.
  - "K"  
VANDENBERG'S SUB. a Re-sub. of Lot 45 in Vogt's Add. To Tinley  
Park (see G), & part of Lot 1 in Village of Bremen (see B), together  
with that vacated as lying Fly. & ad. the N. 1/2 of aforesaid Lot 1.  
Rec. Feb 3, 1982 Doc. 26133027.  
Rec. Feb 3, 1982 Doc. T1263394.  
Rec. Jun 17, 1982 Doc. 26263076.
  - "L"  
KARA'S FARA SUB. of parts of Lots 7 & 8 in Village of Bremen (See  
A). Rec. Jun 8, 1993 Doc. 93430045.
  - "M"  
ST. GEORGE PLACE a Re-sub. of Lots 5, 6, 7 & 8 in Holdt's Sub. (See  
D). Rec. Sep 13, 1995 Doc. 95615291.
  - "N"  
HARPER HILL TOWNHOMES ASSOCIATION, a Re-sub. of pt. of  
Blk. 3 in Village of Bremen (see B). Rec. Aug 9, 1996 Doc.  
96610363.
  - "O"  
AMERITECH ILLINOIS TINLEY PARK RESUB. of Lots 5, 6, 7, &  
pt 8 in Blk. 11 in Village of Bremen (see B). Rec. Dec 23, 1998  
Doc. 08169276.
- CONDOMINIUM: 28-30-405-033  
PARK VENTURE CONDOMINIUMS  
Rec. 8/23/1983 Doc. 26744398  
Rec. 4/16/1984 Doc. 27046712
- Unit
- 6645-1-A = 10036655-1-A = 1013
  - 6645-1-B = 10036655-1-B = 1014
  - 6645-1-C = 10036655-1-C = 1015
  - 6645-1-D = 10036655-1-D = 1016
  - 6645-2-A = 10036655-2-A = 1017
  - 6645-2-B = 10036655-2-B = 1018
  - 6645-2-C = 10036655-2-C = 1019
  - 6645-2-D = 10036655-2-D = 1020
  - 6645-3-A = 10036655-3-A = 1021
  - 6645-3-B = 10136655-3-B = 1022
  - 6645-3-C = 10136655-3-C = 1023
  - 6645-3-D = 10136655-3-D = 1024



# E 1/2 NW 1/4 SEC 30-36-13 BREMEN

36-13-30D  
28-30



- "A"  
ELMORE'S OAK PARK AVE ESTATES, a sub. of the N.W. 1/4 of Sec. 30-36-13 (except that part of drainage ditch conveyed by Doc. 377150). Rec. Apr. 25, 1929 Doc. 10351098.
- "B"  
OWNER'S SUB. of Lot 6 in Blk. 8 in Elmore's Oak Park Avenue Estates (See A) Rec. Nov 26, 1958 Doc. 17388197
- "C"  
CARLSON'S RESUB. of LOT 10 in BLK. 8 in ELMORE'S OAK PARK AVE. ESTATES (See A) Rec. Apr 25, 1974 Doc. 22696508.
- "D"  
HENDERSON'S RESUB. of the N. 1/2 of Lot 10 in Blk. 8 in Elmore's Oak Park Ave. Estates (see A) Rec. Jul 20, 1979 Doc. 25070653.
- "E"  
MILLER'S RESUB. of Lot 1 in Owner's Sub. (see B). Rec. May 30, 1985 Doc. 85040007.
- "F"  
DOLAN'S RESUB. of Lot 3 & the W. 50 ft. of Lot 2 in Blk. 2 in Elmore's Oak Park Ave. Estates (see A) Rec. Jun 2, 1997 Doc. 97389562.

THIS AREA HAS BEEN ADDED TO LEGAL DESCRIPTION OF NEIGHBORHOOD GENERAL

STATE OF ILLINOIS     )  
COUNTY OF COOK       ) SS:  
COUNTY OF WILL       )

**CLERK'S CERTIFICATE**

I, **PATRICK REA**, the duly appointed, qualified and acting Village Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois, do hereby certify that attached hereto is a true and correct copy of the Ordinance now on file in my office, entitled:

**ORDINANCE NO. 2015-O-\_\_\_**

**AN ORDINANCE MAKING CERTAIN TEXT AMENDMENTS TO SECTION XII (LEGACY CODE) OF THE TINLEY PARK ZONING ORDINANCE, AND REZONING CERTAIN PROPERTIES RELATIVE TO THE LEGACY CODE ZONING DISTRICTS**

which was passed by the Board of Trustees of the Village of Tinley Park at a regular meeting held on the \_\_\_ day of \_\_\_\_\_, 2015, at which meeting a quorum was present, and approved by the President of the Village of Tinley Park on the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

I further certify that the vote on the question of the passage of the said Ordinance by the Board of Trustees of the Village of Tinley Park was taken by the Ayes and Nays and recorded in the Journal of Proceedings of the Board of Trustees of the Village of Tinley Park, and that the result of said vote was as follows, to-wit:

**AYES:** \_\_\_\_\_

**NAYS** \_\_\_\_\_

**ABSENT** \_\_\_\_\_

I do further certify that the original Ordinance, of which the attached is a true copy, is entrusted to my care for safe-keeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Tinley Park, this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Village Clerk

**PAMPHLET**  
**BACK OF PAMPHLET**

**ORDINANCE NO. 2015-O-\_\_\_**

**AN ORDINANCE MAKING CERTAIN TEXT AMENDMENTS TO SECTION XII  
(LEGACY CODE) OF THE TINLEY PARK ZONING ORDINANCE, AND REZONING  
CERTAIN PROPERTIES RELATIVE TO THE LEGACY CODE ZONING DISTRICTS**

Published in pamphlet form by Order of the Corporate Authorities of the Village of Tinley Park,  
Cook and Will Counties, Illinois.