

# PLAN COMMISSION

**March 19, 2015**

**Applicant**

DaVita Dialysis  
c/o Sam Sarbacker, Vice  
President, OGA (Developer)

**Property Location**

16767 S. 80<sup>th</sup> Avenue  
(formerly Eiche Turner)

**Parcel Size**

101,695.48 s.f.  
(2.34 ac)

**General Zoning**

B-1  
*Neighborhood Shopping District*

**Approval Sought**

Site Plan  
Variation  
Re-Subdivision Plat

**Requested Action**

Assign two Commissioners to  
meet with the Applicant in a  
work session.

**Project Planner**

Paula J. Wallrich, AICP  
Deputy Planning Director

## DAVITA DIALYSIS 16767 S. 80<sup>TH</sup> AVENUE



### PROJECT DESCRIPTION

The Applicant, Sam Sarbacker for DaVita Dialysis, seeks approvals for Variations, Plat of Re-Subdivision, and Site Plan, to construct a single-story, 6,700 square foot medical facility, that provides dialysis services to chronic kidney failure and end stage renal disease patients. The project will involve the demolition of the former Eiche Turner building and the construction of the new building and related site improvements, including the provision of 45 parking spaces, landscaping, and stormwater detention, on the 2.34 acre site located at 16767 S. 80<sup>th</sup> Avenue.

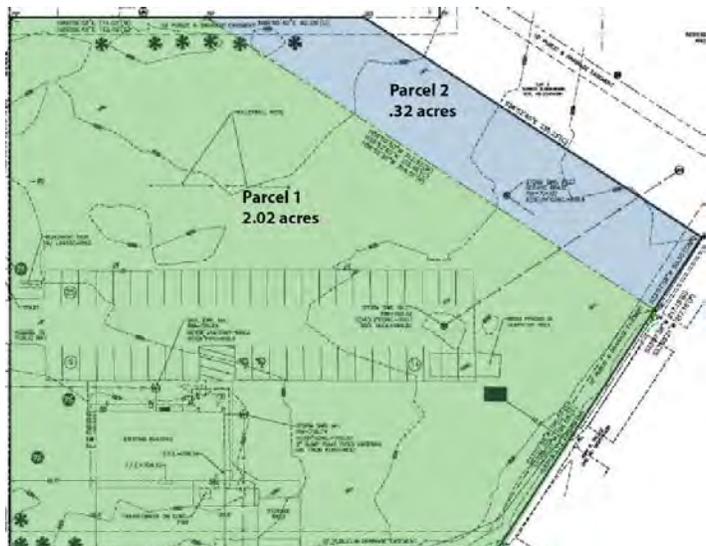
**LIST OF SUBMITTED PLANS**

Submitted Sheet Name		Date On Sheet
SITE/ELEVATIONS/LANDSCAPE PLANS <i>Prepared by Studio GC, Chicago, IL</i>		<i>Received 3.3.2015</i>
T1	Title Sheet	02.27.2015
G-1	Alta/ACSM Land Title Survey	09.05.2014
LP-100	Landscape Plan	02.27.2015
LP-500	Landscape Details	02.27.2015
AC-1	Site Plan	02.27.2015
A-1	Floor Plan	02.27.2015
A-2	Elevations	02.27.2015
A-3	Elevations	02.27.2015
A-4	Brick Percentage	02.27.2015
SL1.00	Site Lighting Plan	02.27.2015
FINAL ENGINEERING PLANS <i>Prepared by ESI Consultants, Naperville, IL</i>		<i>Received 3.3.2015</i>
1	Cover Sheet	02.27.2015
2	General Notes and Legend	02.27.2015
3	Site Plan	02.27.2015
4	Utility and Drainage Plan	02.27.2015
5	Grading Plan	02.27.2015
6	Stormwater Pollution Prevention	02.27.2015
7	Erosion Control Notes	02.27.2015
8	Erosion Control Details	02.27.2015
9	Utility Details	02.27.2015
10	Utility Details	02.27.2015
11	Utility Details	02.27.2015
12	Utility Details	02.27.2015
13	Pavement Details	02.27.2015
T-1	Tributary Areas	02.27.2015

**EXISTING SITE**

The proposed development site is comprised of two parcels; Parcel 1 (Lot 1 of Turner Subdivision) comprises 2.02 acres and Parcel 2, which is the southern .32 acres of Lot 2 of Turner Subdivision. The total lot comprises 2.34 acres. A Plat of Re-subdivision which combines the two lots has been prepared for review and approval.

There is no existing stormwater management system. The project will utilize Parcel 2 to meet the new MWRD Watershed Management Ordinance.



The parcel is bounded by a one-story commercial strip center to the north and the Tinley Park Community Church to the northeast. Multi-family residential uses border the property to the south and southeast with one-story garages located along the south and southeast property line and three-story multi-family units located just beyond the garage units. Office uses are across 80<sup>th</sup> Avenue to the west. There is an existing chain link fence separating this parcel and the multi-family units to the south and to the southeast.

The proposed project will maintain one curb cut off of 80<sup>th</sup> Avenue; the new curb cut is approximately 6’ north of the existing curb cut. There is no known flood area; FIRM maps indicate it as a Zone X- ‘No Special Flood Hazard Area’.



## PROPOSED USE

The existing Eiche Turner structure will be demolished and a new one-story 6,607 square foot structure will be constructed for purposes of a medical facility providing kidney dialysis treatment. According to the Applicant, *DaVita Dialysis, a division of DaVita HealthCare Partners Inc., was founded in 1999 and is recognized as a Fortune 500® company that provides a variety of health care services to patient populations throughout the United States and abroad. DaVita Dialysis currently operates 2,152 outpatient dialysis centers in the United States serving approximately 170,000 patients, and 87 outpatient dialysis centers in 10 countries outside the United States.*

The proposed DaVita Dialysis facility consists of twelve (12) individual dialysis treatment stations, a waiting area, conference room, lab, five (5) private offices, restrooms, and a storage area. The proposed plans indicate four (4) additional dialysis stations to be built-out in the future for a total of 16 stations. The Applicant has stated that there would be no more than thirteen (13) employees on-site at any given time.



## COMPREHENSIVE PLAN

The Village of Tinley Park Comprehensive Plan (2000) identifies this site as commercial; therefore, the proposed development is in accord with the Village’s Comprehensive Plan.

**ZONING**

The subject parcel is zoned B-1, Neighborhood Shopping District. The proposed dialysis center is consistent with the definition of a ‘Medical Office’ in that it is “*generally characterized by a single or limited number of practitioners who offer a similar or compatible medical service.*” Professional offices, including medical, are a permitted use in the B-1 District.

Variation: The Petitioner must meet all lot, yard, and bulk requirements of the B-1 Zoning District or request a variation. Staff has identified three (3) issues of non-compliance, noted in red in the table.



VILLAGE REGULATION B-1	DIMENSION REQUIRED	PETITIONER'S DIMENSION
Front Yard Setback	125 feet	<b>60.00 feet</b>
Side Yard(s) Setback	25' one side; 50' total of two	28' one side; 234' total of two
Rear Yard Setback	25 feet	157 feet
Maximum Building Height	Two stories; 30 feet	One story; 23'7"
Maximum F.A.R.	0.3	0.065
Lot Area Minimum	4 ac	<b>2.34 ac</b>
Lot Width Minimum	600 feet	<b>320.17 feet</b>
Lot Depth	250'	Irregular polygon ranging from 206' to 399' (mean = 285')
Maximum Lot Coverage	50%	6.5%

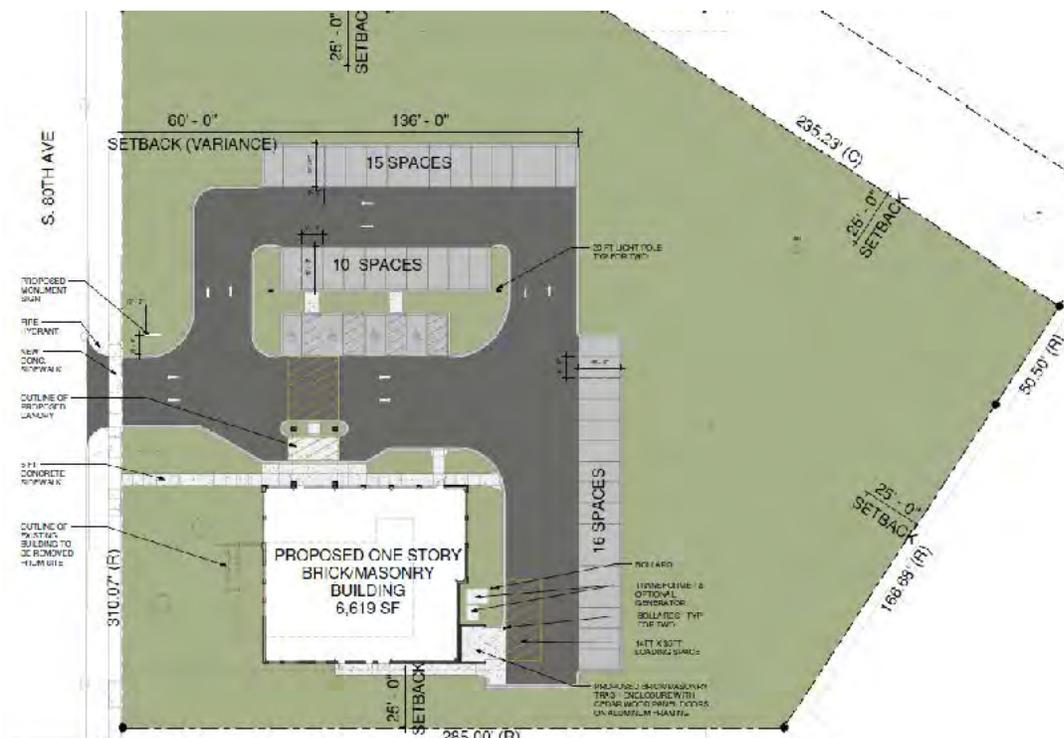
The B-1 District requires a 125' front yard; the proposed site plan indicates a 60' front yard setback. As part of the analysis for the variance request, staff reviewed the property in context with the surrounding area in an effort to align the property with existing patterns of development. Although the property does not fall within the Urban Design Overlay District, it is located relatively close to the District, therefore, staff also reviewed the proposal using the Overlay district design standards, (Section V. D.2.

of Village Zoning Ordinance) keeping in mind site design and architectural guidelines. The commercial uses across the street reflect similar front yard setbacks (50-60') to the existing Eiche Turner building (50') and the proposed setback for DaVita (60'). The retail center to the north of the subject property is also less than the ordinance requirement of 125' measuring at approximately 80'. The Applicant has cooperated with Staff in aligning their project with these principals and locating the parking field to the side and rear of the building and decreasing the front yard setback. In doing so the building has been proposed with a 60' front yard setback which will require a variation.



Two other variations will also be required; lot area and lot width minimums cannot be met with the existing parcel. According to the best information available, the Eiche Turner building was built in 1983. Per the Comprehensive Rezoning of 1978, which amended the Zoning Ordinance of 1956, the B-1 Zoning District requires a 4 acre lot minimum and a 600' lot width. Staff could not locate evidence of a variance approving lot width and lot area variations when the Eiche Turner building was constructed.. Staff is assuming that the B-1 District was assigned to these properties for the purpose of controlling uses rather than for enforcement of bulk regulations. Therefore, with the re-subdivision of the two lots it is appropriate to consider lot area and lot width variations to provide for their legal non-conforming status.

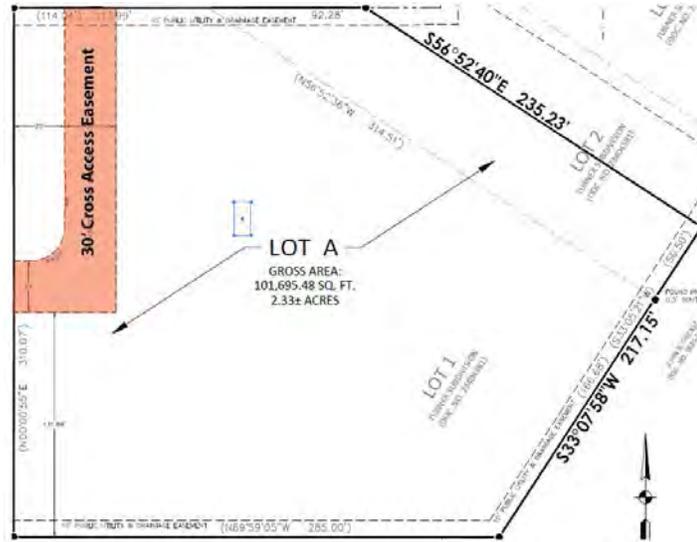
**SITE PLAN REVIEW**



## GENERAL COMMENTS

The proposed site plan respects the design principles of the Urban Overlay District and the site plan configurations of the surrounding area. The parking does not dominate the site and the building architecture presents an attractive ‘front’ façade to 80<sup>th</sup> Avenue.

Re-subdivision Plat: The property consists of two parcels: Parcel 1 (Lot 1 of Turner Subdivision) comprises 2.02 acres; Parcel 2, is the southern .32 acres of Lot 2 of Turner Subdivision. Lot 2 was never legally subdivided, yet Eiche Turner took ownership of the southern portion of Lot 2 without recording the subdivision or combining it with their Parcel 1. Since the Eiche Turner property was tax exempt the lot configuration was never questioned by the County. With the transfer of ownership to DaVita HealthCare Partners Inc., the Applicant has agreed to consolidate the two lots, (Parcel 1 and the southern portion of Lot 2, (Parcel 2)) as part of the Re-subdivision of Turner Subdivision Lots 1 and 2.



In anticipation of the redevelopment of the parcel to the north, the Village is requesting a cross access easement benefitting both properties. A 30’ wide easement will be platted with the proposed re-subdivision plat which aligns with the driveway of the north property. The Village is not requiring construction of the access at this time; when the property to the north redevelops the Village will discuss its construction at that time.

## PARKING

DaVita Dialysis serves a special population; they have patients whose health is compromised and may have difficulty walking. A porte-cochere has been provided to allow for easy drop off of clients. Those clients that will park in the parking lot are provided either accessible parking or sidewalks that provide easy access to the front door. The Applicant has provided two (2) accessible spaces in excess of what the Illinois Accessibility Code requires (two (2) spaces are required, four (4) accessible spaces provided). In addition, per Staff’s request, the Applicant has provided a striped crosswalk connecting the accessible parking spaces with the front door.





the parkway. Along the north property line, the Applicant has provided a Bufferyard “B” which meets Landscape Ordinance requirements. The remaining property lines abut the church property at the northeast property line and the residential properties at the south and southeast property lines. The residential properties include detached garages at the property line, along with a chain link fence, which provides a structural screen between the proposed office use and the multi-family structures. These areas meet bufferyard requirements and have included additional evergreen material to provide year round screening per staff recommendation. There are several existing evergreen trees along the north property line that will be preserved.

A cross-access easement will be recorded with the plat to provide future cross-access if the property to the north redevelops. Staff recommends relocating any proposed landscaping out of the cross-access easement.

**Open Item #1: Proposed landscape conflicts with cross access easement.**

In addition to bufferyard requirements, the Site Plan must meet screening requirements for the parking areas. Parking areas are required to be “*screened from the view of adjacent properties and streets by evergreen planting that will attain a height of three (3) feet within three (3) years*”. The Applicant has revised their plans to provide additional screening along the perimeter of the parking lot, which includes a fair amount of evergreen material. Some deciduous trees have also been provided in the parking lot to provide some shade to the parking lot. Staff recommends relocating some of the trees that are shown in the cross-access easement area into the parking lot interior to provide additional shade. Staff also recommends providing a few more evergreen trees to balance the front façade and provide some year round screening in the parking lot.

**Open Item #2: Lack of shade and evergreen trees in parking lot.**

The Landscape Plan indicates some areas where it appears the shrubs are located too far apart to create an adequate screen. The landscape architect has requested that shrub spacing be indicated on the plan.

**Open Item #3: Shrub spacing is not indicated on the plan.**

**LIGHTING**

The Zoning Ordinance limits the light shed from outdoor lighting to no greater than .5 foot candles at the property line. Off-site glare must also be eliminated. The proposed photometric plans conform to Village requirements and have readings of .1 foot candles or less along those property lines adjacent to residential uses, and readings of .3 or less along 80<sup>th</sup> Avenue.

The parking lot will have three lights as indicated in the adjacent diagram (indicated by red stars). These lights are metal halide, with full cutoff, and are 20’ in height. The blue stars indicate wall sconces, and the green stars are recessed lighting in the porte-cochere.



## ARCHITECTURE

The proposed architecture provides a one-story masonry structure that is in keeping with traditional office architecture. Per the Village Building Code, buildings measuring 3,000 – 40,000 square feet in size must be constructed with a minimum of 75% brick and 25% masonry. The proposed 6,619 square foot building is comprised of 75.23 % brick and 24.77% stone; therefore, the proposed structure meets Village Building Code.



Staff has worked with the Applicant to revise the originally proposed architecture. The first submittal consisted of a gabled porte-cochere with a standing seam roof that had little correlation with the roof lines of the main structure. There was an incomplete tower parapet element at the northwest corner of the building, and the building facades, especially the street (or west) façade, contained little articulation, with minimal shadow lines or elements of interest. The Applicant has cooperated with staff and revised the originally proposed architecture per staff's recommendations. The porte-cochere now has as a flat roof and the curved line of the parapet has been incorporated in the design. The parapet at the northwest corner of the building has also been modified to reflect a 'true' tower element with the parapet constructed on all four sides. A metal sunscreen

projects from the north and west facades providing enhanced visual interest, a change of materials and better articulation along the façade.



The Applicant has stated that the roof top HVAC will not be visible from public ROW or at ground elevations from adjacent residential properties. This is illustrated in the perspective renderings.



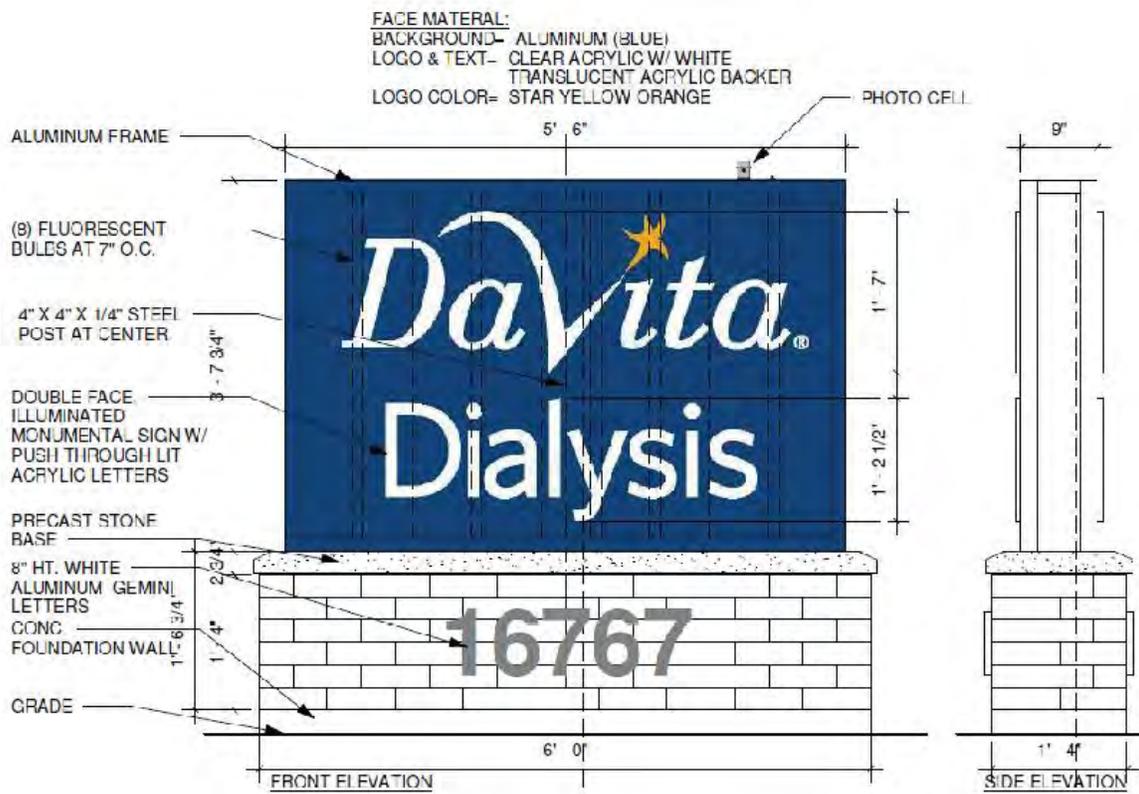
Staff has expressed concern regarding the lack of awnings over all the windows on the north façade. The Applicant provided awnings only over two (2) of the four (4) windows east of the port-cochere; Staff recommends providing awnings over all the windows for a more complete look to the façade.

***Open Item # 4: The north façade provides awning over two (2) windows, which appears inconsistent with the overall design.***

The Applicant also addressed Staff’s concern regarding the lack of significant reveals along all facades. A 2” brick reveal was originally proposed, which Staff felt was unperceivable from the public right-of-way and would not provide the shadow lines as indicated in the submitted rendering. The Applicant has agreed to double the amount of the reveal and has provided a 4” setback in those specified areas along all facades.

## SIGNAGE

The Applicant has proposed one ground mounted sign measuring 5’3” in height, which meets the Village ordinance height limitation of ten (10) feet. Per Staff’s recommendation, the sign is not an internally lit box sign, but rather the background is aluminum painted blue with cut out acrylic white letters spelling out “DaVita Dialysis” and with the signature yellow star. The blue background will not be illuminated.



The wall sign measures 40.5 square feet and meets Village ordinance requirements. The sign is individually lit letters featuring a white outline with blue vinyl inlay. The star will be yellow.

## ENGINEERING

The Village Engineer provided a list of concerns to the Applicant and the Applicant has responded to each concern. There are no outstanding issues at this time; however, final engineering approval will be required prior to issuance of a Building Permit.

**FIRE PREVENTION**

The Fire Department provided comments to the Applicant regarding Building Life Safety and Fire Protection. The Applicant has responded to all identified issues; there are no open items at this time.

**SUMMARY OF OPEN ITEMS**

	<i>Open Items</i>	<i>Suggested Resolutions</i>
1	<i>Proposed landscape conflicts with cross-access easement.</i>	<i>Remove proposed landscape from cross-access easement.</i>
2	<i>Lack of shade and evergreen trees in parking lot.</i>	<i>Provide additional plant material as recommended by Staff.</i>
3	<i>Shrub spacing is not indicated on the plan.</i>	<i>Provide shrub spacing on plan.</i>
4	<i>The north façade provides awnings over two (2) windows, which appears inconsistent with the overall design.</i>	<i>Add two (2) additional awnings on north façade.</i>

**RECOMMENDATION**

Assign two Commissioners to meet with the Applicant in a work session with Staff.

**VILLAGE OF TINLEY PARK**  
**APPLICATION FOR ZONING ORDINANCE VARIANCE**

The undersigned hereby Petitions the Village of Tinley Park Zoning Board of Appeals and/or Plan Commission to consider a Variation from the terms of the Zoning Ordinance as follows:

**PETITIONER INFORMATION**

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Day Phone: \_\_\_\_\_ Evening Phone: \_\_\_\_\_

Cell Phone: \_\_\_\_\_ Fax Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Nature of Petitioner's Interest in the property and/or relationship to the owner:  
(Applications received on behalf of the owner of record must be accompanied by a signed letter of authorization).

---

**PROPERTY INFORMATION**

Street Address: \_\_\_\_\_

Owners: \_\_\_\_\_

\_\_\_\_\_

**SPECIFIC TYPE OF VARIANCE REQUESTED (See Examples Below):**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Examples of Specific Type of Variance Requested:**

This refers to the exact number of feet, the exact dimensions of a structure, exact height/type of fence.  
For example:

“A 15 foot Variance to the Front Yard Setback on the East side of the property to allow for a 6-foot tall cedar fence on this corner lot.”

“A 180 square foot variance to the 720 square foot maximum allowable size of an accessory structure to allow for a 30 foot or 900 square foot garage on this residential property.”

“A 10 foot variance to the 10 foot maximum allowable height for a sign to allow for a 20 foot high monument sign on this commercial property.



## FINDINGS OF FACT

### ADDITIONAL INFORMATION TO BE PRESENTED TO SUPPORT A VARIATION REQUEST FROM THE TERMS OF THE VILLAGE OF TINLEY PARK ZONING ORDINANCE

Section X.G.1 of the Village of Tinley Park Zoning Ordinance requires that the Zoning Board of Appeals determine compliance with the following standards and criteria. In order for a variance to be approved, the Petitioner must respond to all the following questions with facts and information to support the requested Variation:

- A. Describe the difficulty that you have in conforming with the **current** regulations and restrictions relating to your property, and describe how this hardship is not caused by any persons presently having an interest in the property. (Please note that a mere inconvenience is insufficient to grant a Variation). For example, does the shape or size of the lot, slope, or the neighboring surroundings cause a severe problem in completing the project in conformance with the applicable Ordinance requirement?

---

---

---

---

---

---

---

- B. Describe any difficulties or hardships that **current** zoning regulations and restrictions would have in decreasing your property value compared to neighboring properties.

---

---

---

---

---

---

---

- C. Describe how the above difficulty or hardship was created.

---

---

---

---

---

---

---

## FINDINGS OF FACT (CONTINUED)

- D. Describe the reasons this Variance request is unique to this property only and is not applicable, in general, to other properties within the same Zoning District.

---

---

---

---

---

- E. Explain how this Variance **would not** be regarded as an attempt at financial gain, but only because of personal necessity. For example, the intent of the Variance is to accommodate related living for an elderly relative as opposed to adding an additional income source.

---

---

---

---

---

- F. Describe how granting this Variance request will not be detrimental to the public welfare or injurious to other properties or improvements in the neighborhood in which the property is located: (Example: fencing will not obstruct view of automobile traffic).

---

---

---

---

---

- G. Explain how granting this Variance will not alter the essential character of the neighborhood or locality:

---

---

---

---

---

**FINDINGS OF FACT (Continued)**

H. Describe how the requested Variance **will not**:

1. Impair an adequate supply of light and air to adjacent properties.

---

---

---

---

2. Substantially increase the congestion of the public streets.

---

---

---

---

3. Increase the danger of fire.

---

---

---

---

4. Impair natural drainage or create drainage problems on adjacent property.

---

---

---

---

5. Endanger the public safety.

---

---

---

---

6. Substantially diminish or impair property values within the neighborhood.

---

---

---

---

VILLAGE OF TINLEY PARK

APPLICATION FOR SITE PLAN APPROVAL

PROJECT NAME: Tinley Park Dialysis

LOCATION: 16767 S. 80th Avenue

The undersigned hereby requests that the Plan Commission and/or the Village Board of the Village of Tinley Park, Illinois consider authorizing Site Plan Approval for the project described within.

APPLICANT INFORMATION

Name: Sam Sarbacker (Nikki Bridges on behalf of Sam Sarbacker)
Company: Tinley Park Healthcare, LLC
Mailing Address: 2932 Foster Creighton Drive, Nashville, TN 37204
Phone (Office): (615) 986-2660
Phone (Cell): (615) 775-4442
Fax: (615) 467-0479
Email: ssarbacker@oman-gibson.com

If the Applicant is not the property owner, describe the nature of the Applicant's interest in the property and/or the relationship to the property owner:

Tinley Park Healthcare is in the process of purchasing the property. Current property owner listed on P. 2. Nikki Bridges (architect with StudioGC) is completing application on behalf of Tinley Park Healthcare.

PROPERTY INFORMATION

Property Address: 16767 S. 80th Ave
PIN(s):
Existing Land Use: Banquet Hall
Zoning District: B-1
Lot Dimensions: Varies, see site plan
Property Owner(s): Tinley Park Healthcare, LLC
Mailing Address: 2932 Foster Creighton Drive, Nashville, TN 37204

APPLICATION INFORMATION

Description of proposed project (use additional attachments as necessary):

See attached site plan drawing

Is the Applicant aware of any variations required from the terms of the Zoning Ordinance? If yes, please explain and note that a separate Variation Application is required with the submittal.

[ ] No [x] Yes: Lot area, lot width and front yard setback variances required.. A separate variance application will be provided.

The Applicant certifies that all of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.

n.bridges@studiogc.com
Digitally signed by n.bridges@studiogc.com
Date: 2015.01.29 17:28:52 -0500
Signature of Applicant

01/29/2015
Date

# VILLAGE OF TINLEY PARK

## SITE PLAN APPROVAL CONTACT INFORMATION

**PROJECT NAME:** Tinley Park Dialysis

**LOCATION:** 16767 S. 80th Avenue

In order to expedite your site plan submission through the planning process, the Village of Tinley Park requires the following contact information. Please provide the information requested and return to the Planning Department. Your prompt attention is greatly appreciated.

### CURRENT PROPERTY OWNER OF RECORD

**Name:** Dolores R. Schnell  
**Company:** Turnverien Eiche, Inc.  
**Address:** 16767 S. 80th Ave, Tinley Park, IL 60477  
**Phone:** \_\_\_\_\_  
**Fax:** \_\_\_\_\_  
**Email:** \_\_\_\_\_

### PROJECT ARCHITECT

**Name:** Nikki D. Bridges  
**Company:** StudioGC  
**Address:** 223 W. Jackson Blvd., Suite 1200, Chicago, IL 60606  
**Phone:** 312-253-3400  
**Fax:** 312-253-3401  
**Email:** n.bridges@studiogc.com

### PROJECT ENGINEER

**Name:** Brian Makenas  
**Company:** WMA Consulting Engineers  
**Address:** 815 South Wabash Avenue, Chicago, IL 60605  
**Phone:** 312-786-4310  
**Fax:** \_\_\_\_\_  
**Email:** BMakenas@wmace.com

### PROJECT LANDSCAPE ARCHITECT

**Name:** Tod Stanton  
**Company:** Design Perspectives  
**Address:** 1280 Iriquois Ave., Suite 110, Naperville, IL 60563  
**Phone:** (630) 577-9445  
**Fax:** (630) 577-9447  
**Email:** Tod@design-perspectives.net

### ATTORNEY

**Name:** Timothy H. Ehlers  
**Company:** Timothy H. Ehlers  
**Address:** 9991 W. 191st. Street, Mokena, IL 60448  
**Phone:** 708-478-1100  
**Fax:** \_\_\_\_\_  
**Email:** \_\_\_\_\_

### END USER

**Name:** James Burke  
**Company:** DaVita  
**Address:** 2000 16th Street, Denver CO 80202  
**Phone:** 630-810-0752  
**Fax:** \_\_\_\_\_  
**Email:** james.burke@davita.com

**VILLAGE OF TINLEY PARK**

**SITE PLAN APPROVAL  
RESPONSIBLE PARTIES**

**PROJECT NAME:** Tinley Park Dialysis

**LOCATION:** 16767 S. 80th Avenue

Please provide name, address and telephone number of the person/firm that will be responsible for payment of plan review, engineering, landscaping, attorney and building permit fees in the space provided below. If only one party will be responsible for all fees, please list that party's contact information under "General Billing."

**GENERAL BILLING**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**RESPONSIBLE FOR PLAN REVIEW FEES**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**RESPONSIBLE FOR BUILDING PERMIT FEES**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**RESPONSIBLE FOR ATTORNEY FEES**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**RESPONSIBLE FOR ENGINEERING/  
CONSTRUCTION OVERSIGHT FEES**

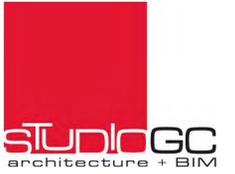
Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**RESPONSIBLE FOR LANDSCAPE REVIEW  
FEES**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

# Tinley Park Dialysis

16767 S. 80th Avenue  
Tinley Park, Illinois 60477



223 W Jackson Blvd | Suite 1200  
Chicago, Illinois 60606  
ph:312.253.3400 fx: 312.253.3401



DRAWING INDEX	
SHEET NUMBER	SHEET NAME
T-1	TITLE SHEET
G-1	SURVEY - FOR INFORMATION ONLY
LANDSCAPE	
LP-100	LANDSCAPE PLAN
LP-500	LANDSCAPE DETAILS
ARCHITECTURAL	
AC-1	SITE PLAN
A-1	FLOOR PLAN
A-2	ELEVATIONS
A-3	ELEVATIONS
A-4	TABLE CALCULATIONS - BRICK PERCENTAGE
SL1.00	SITE LIGHTING PLAN

## TINLEY PARK DIALYSIS

For  
Tinley Park  
Healthcare, LLC

At:  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477



Copyright 2015

NO.	ISSUED FOR:	DATE
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

TITLE SHEET

Project: 14080B

T-1

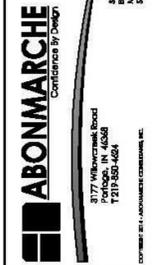
# ALTA/ACSM LAND TITLE SURVEY

TITLE INSURANCE COMMITMENT NO. C42387-WSA031070-1  
EFFECTIVE DATE: AUGUST 13, 2014 AT 8:00 AM  
NAME OF INSURER: CHICAGO TITLE COMPANY, LLC

**SURVEY NOTES:**  
THE BEARINGS ARE BASED ON THE PLAT OF TURNER SUBDIVISION, THE EAST LINE OF SOUTH 80TH AVENUE WAS HELD FOR ROTATION.  
ALL MONUMENTS FOUND DURING THE COURSE OF THIS SURVEY WERE HELD FOR POSITION EXCEPT THE IRON PIPE AT THE SOUTHEAST CORNER OF LOT 1. IT APPEARED DISTURBED AND HAD A FALLING OF 0.5 FEET.

**SCHEDULE B SPECIAL EXCEPTIONS:**  
ITEM 16 - EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF SUBDIVISION; SEE PLAT FOR EXACT LOCATION, ELOTTABLE.  
ITEM 17 - EASEMENT RESERVED FOR AND GRANTED TO THE COMMONWEALTH EDISON COMPANY AND THE ILLINOIS BELL TELEPHONE COMPANY BY AND ON THE PLAT OF SAID SUBDIVISION, TO INSTALL, OPERATE, MAINTAIN AND REMOVE ALL FACILITIES AND EQUIPMENT NECESSARY TO PROVIDE THE LAND AND OTHER PROPERTY WITH ELECTRICAL AND TELEPHONE SERVICE TOGETHER WITH RIGHT OF REASONABLE ACCESS THERETO, ELOTTABLE.  
ITEM 18 - EASEMENT FOR INGRESS AND EGRESS AS DISCLOSED ON THE PLAT OF SUBDIVISION. AFFECTS LOT 4 OF TURNER SUBDIVISION, ELOTTABLE.  
ITEM 19 - GRANT OF TEMPORARY EASEMENT FOR THE TRANSMISSION OF STORM WATER, DOCUMENT 23281437, AFFECTS LOT 4 OF TURNER SUBDIVISION, ELOTTABLE.

- LEGEND:**
- 5/8" REBAR WITH ID CAP (PETERSON 35-003728)
  - FOUND IRON PIPE
  - CATCH BASIN/INLET
  - MANHOLE
  - FIRE HYDRANT
  - WATER VALVE
  - TRANSFORMER
  - ELECTRIC METER
  - GAS METER
  - AIR CONDITIONER UNIT
  - SIGN POST
  - VOLLEYBALL NET POST
  - LIGHT POLE
  - FLAG POLE
  - CABLE TV PEDESTAL
  - TELEPHONE PEDESTAL
  - DECIDUOUS TREE
  - PIKE TREE
  - CHAIN LINK FENCE
  - WOOD FENCE
  - WATER MAIN
  - SAN. SWR. PIPE
  - STM. SWR. PIPE
  - GRASS
  - CONCRETE
  - ASP.
  - ASPH.
  - NUMBER OF PARKING SPACES
  - HANDICAP ACCESSIBLE
  - CALCULATED
  - RECORDED
  - MEASURED



**PROJECT:**  
LOT 1 AND PART OF LOT 2 IN TURNER SUB. BEING A PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST, VILLAGE OF TINLEY PARK, ORLAND TOWNSHIP, COOK COUNTY, ILLINOIS

## ALTA/ACSM LAND TITLE SURVEY

**SHEET TITLE:** ALTA/ACSM LAND TITLE SURVEY  
**DRAWN BY:** CMR  
**REVISIONS:** TINLEY PARK SKETCHES  
**PM REVIEW:** BSP  
**QA/QC REVIEW:**  
**DATE:** 9-05-2014



**HARD COPY IS INTENDED TO BE 24" X 36" WHEN PLOTTED. SCALERS INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZE.**

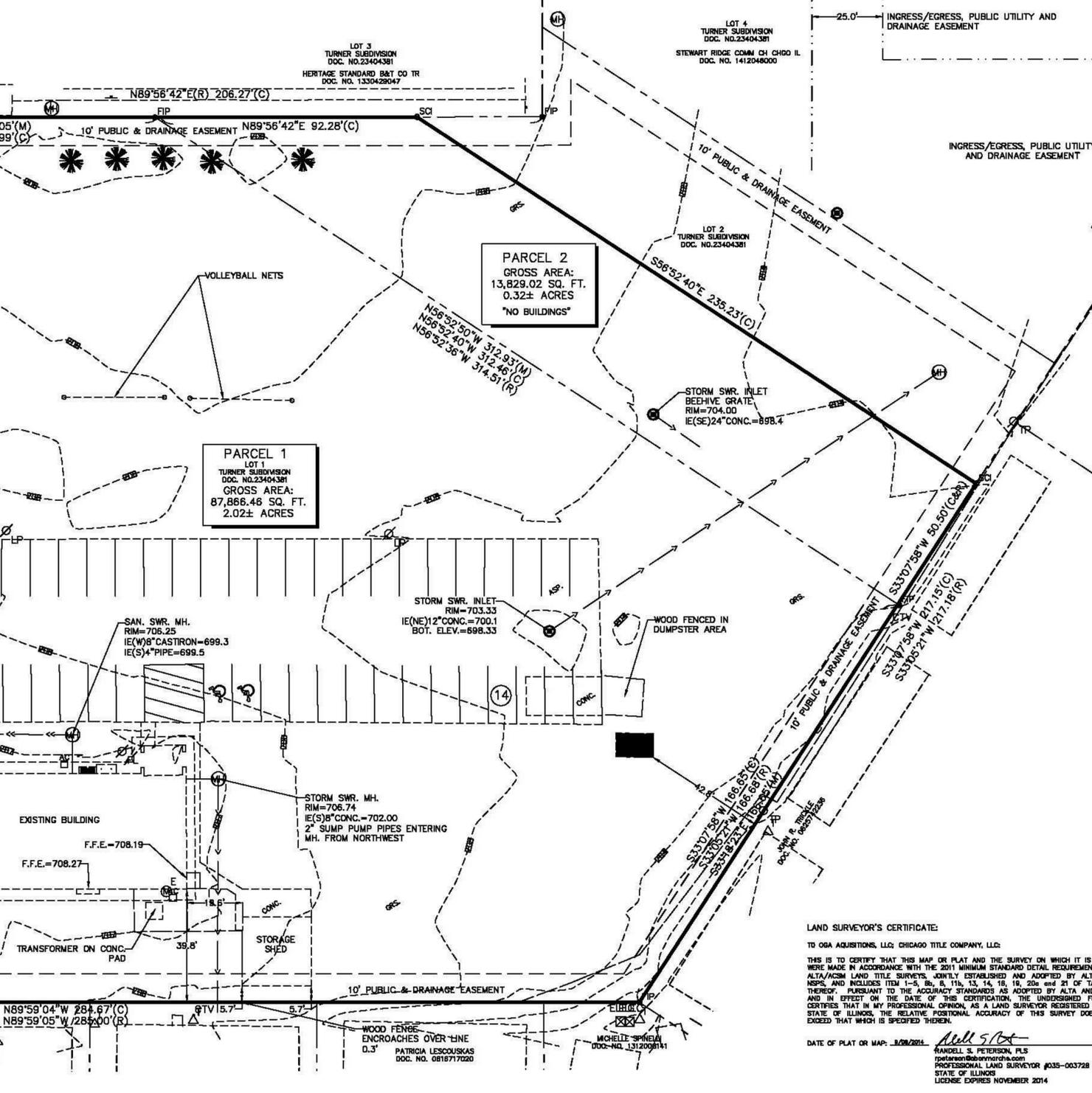
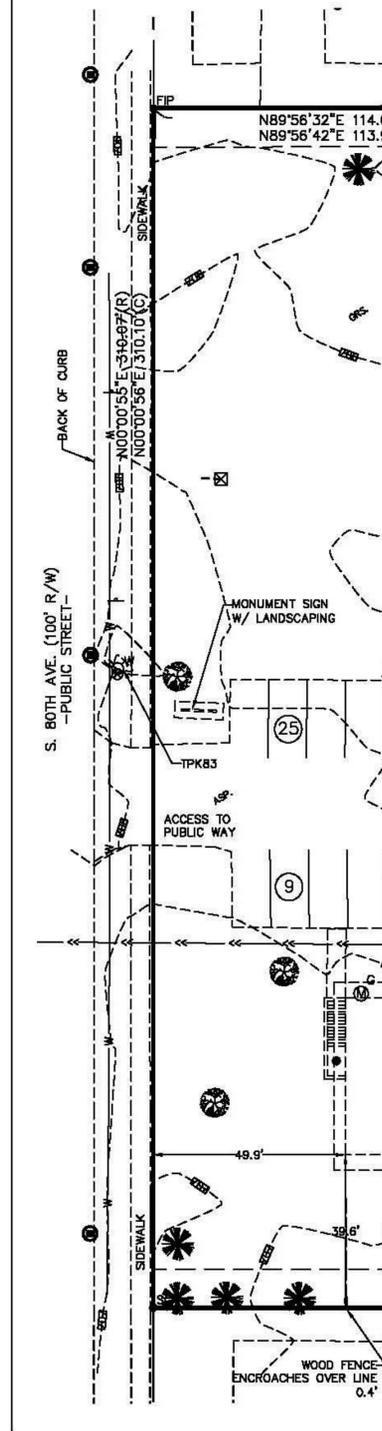
**SCALE:**  
HORIZ: 1"=20'  
VERT:

**ACI JOB #**  
14-0496

**SHEET NO.**  
1 of 1

### LOCATION MAP

NOT TO SCALE



**LEGAL DESCRIPTION:**  
**PARCEL 1**  
LOT 1 IN TURNER SUBDIVISION, BEING A SUBDIVISION OF THAT PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE NORTH 88 DEGREES 56 MINUTES 22 SECONDS EAST 500 FEET ALONG THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE SOUTH 0 DEGREES 03 MINUTES 38 SECONDS EAST 280 FEET; THENCE SOUTH 33 DEGREES 05 MINUTES 21 SECONDS WEST 304.68 FEET; THENCE NORTH 88 DEGREES 56 MINUTES 05 SECONDS WEST 335 FEET TO THE WEST LINE OF SAID NORTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 55 SECONDS EAST 820 FEET ON LAST SAID WEST LINE TO THE PLACE OF BEGINNING, ACCORDING TO THE PLAT RECORDED MARCH 2, 1978 AS DOCUMENT NUMBER 23404381 IN COOK COUNTY, ILLINOIS.  
**PARCEL 2**  
THE SOUTHWESTERLY 50.50 FEET OF LOT 2, (AS MEASURED ON THE SOUTHEAST LINE OF LOT 2) ALL IN TURNER SUBDIVISION, BEING A SUBDIVISION OF THAT PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE NORTH 88 DEGREES 56 MINUTES 22 SECONDS EAST 500 FEET ALONG THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE SOUTH 0 DEGREES 03 MINUTES 38 SECONDS EAST 280 FEET; THENCE SOUTH 33 DEGREES 05 MINUTES 21 SECONDS WEST 304.68 FEET; THENCE NORTH 88 DEGREES 56 MINUTES 05 SECONDS WEST 335 FEET TO THE WEST LINE OF SAID NORTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 55 SECONDS EAST 820 FEET ON LAST SAID WEST LINE TO THE PLACE OF BEGINNING, ACCORDING TO THE PLAT RECORDED MARCH 2, 1978 AS DOCUMENT NUMBER 23404381 IN COOK COUNTY, ILLINOIS.

**GENERAL NOTES:**  
1. UTILITIES ARE PER FIELD LOCATES OR RECORD PLAN INFORMATION.  
2. ITEM NO. 3 TABLE A: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FEDERAL INSURANCE RATE MAP (FIRM) PANEL NUMBERS 17031C0704J AND 17031C0708J WITH AN EFFECTIVE DATE OF AUGUST 18, 2008, THE SUBJECT PROPERTY BY SCALING SAID MAP IS LOCATED WITHIN "ZONE X, NO SPECIAL FLOOD HAZARD AREA".  
3. ITEM NO. 5 TABLE A: THE ONE FOOT CONTOURS SHOWN ON SURVEY ORIGINATED FROM BENCHMARK TPK83 WHICH IS AN ARROW ON FIRST HYDRANT SOUTH OF 187TH STREET EAST SIDE OF BOTH AVENUE, BENCHMARK TPK83 HAS AN ELEVATION OF 708.48 FEET.  
4. ITEM NO. 8b TABLE A: THE CURRENT ZONING CLASSIFICATION FOR LOT 2 IS "R4-PD" - SINGLE FAMILY RESIDENTIAL-PLANNED UNIT DEVELOPMENT. THE BUILDING SETBACK REQUIREMENTS ARE AS FOLLOWS:  
FRONT YARD SETBACK = 30 FEET  
SIDE YARD SETBACK = ONE IS 7.5 FEET, TOTAL OF TWO IS 15 FEET  
REAR YARD SETBACK = 30 FEET  
A MAXIMUM HEIGHT RESTRICTION FOR ALL BUILDINGS OR STRUCTURES IS 36 FEET (TWO STORES); THE MAXIMUM FLOOR AREA RATIO IS 0.5.  
THE CURRENT ZONING CLASSIFICATION FOR LOT 1 IS "OR" - OFFICE RESTRICTED INDUSTRIAL. THE BUILDING SETBACKS REQUIREMENTS ARE AS FOLLOWS:  
FRONT YARD SETBACK = 50 FEET  
SIDE YARD SETBACK = ONE IS 25 FEET, TOTAL OF TWO IS 50 FEET  
REAR YARD SETBACK = 30 FEET; 100 FEET WHEN ADJACENT TO RESIDENTIAL DISTRICT.  
A MAXIMUM HEIGHT RESTRICTION FOR ALL BUILDINGS OR STRUCTURES IS 65 FEET (FIVE STORES); THE MAXIMUM FLOOR AREA RATIO IS 1.0.  
5. ITEM NO. 16 TABLE A: THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK OR BUILDING CONSTRUCTION AT THE TIME OF THIS SURVEY.  
6. ITEM NO. 18 TABLE A: NO WETLANDS WERE DELINEATED ON THE SUBJECT PARCEL OR THROUGH RESEARCH FROM NATIONAL WETLANDS INVENTORY - US FISH AND WILDLIFE SERVICE MAP.  
7. FIELD WORK COMPLETED ON JULY 16, 2014 AND RETURNED ON SEPTEMBER 9, 2014.

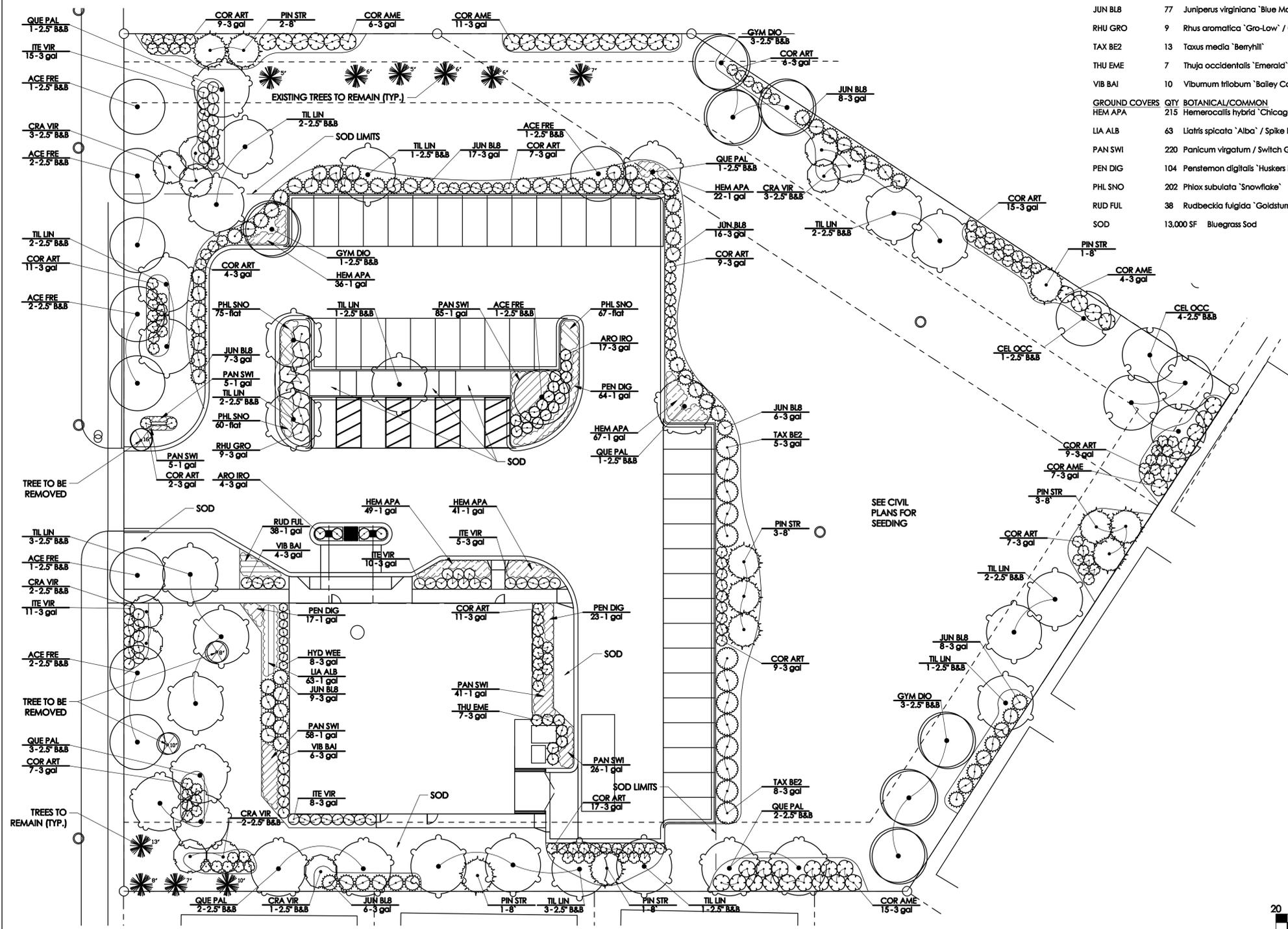
**LAND SURVEYOR'S CERTIFICATE:**  
TO OGA ACQUISITIONS, LLC; CHICAGO TITLE COMPANY, LLC:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND MSPS, AND INCLUDES ITEM 1-5, 8b, 8, 11a, 13, 14, 18, 19, 20a and 21 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND MSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF ILLINOIS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.  
DATE OF PLAT OR MAP: 8/29/2014  
RANDALL S. PETERSON, PLS  
rpeterson@abonmarche.com  
PROFESSIONAL LAND SURVEYOR #035-003728  
STATE OF ILLINOIS  
LICENSE EXPIRES NOVEMBER 2014

**GRAPHIC SCALE**  
1 inch = 20 ft

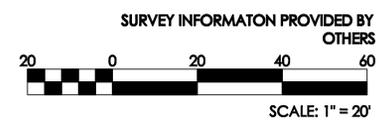
**REVISIONS:**  
1 REVISED PER NEW TITLE COMMITMENT  
2 REVISED PER NEW TITLE COMMITMENT

### PLANT SCHEDULE

TREES	QTY	BOTANICAL/COMMON	CONT	REMARKS
ACE FRE	10	Acer freemanii 'Jeffersred' TM / Autumn Blaze Maple	2.5' B&B	14' Height
CEL OCC	5	Celtis occidentalis / Common Hackberry	2.5' B&B	14' Height
CRA VIR	11	Crataegus viridis 'Winter King' / 'Winter King' Hawthorn	2.5' B&B	14' Height
GYM DIO	7	Gymnocladus dioica / Kentucky Coffeetree	2.5' B&B	14' Height
PIN STR	11	Pinus strobus / White Pine	8' Height	
QUE PAL	10	Quercus palustris / Pin Oak	2.5' B&B	14' Height
TIL LIN	20	Tilia americana / American Linden	2.5' B&B	14' Height
SHRUBS	QTY	BOTANICAL/COMMON	CONT	REMARKS
ARO IRO	21	Aronia melanocarpa 'Iroquois Beauty' TM / Black Chokeberry	3 gal	18" Height
COR ART	130	Cornus sericea 'Artic Fire' / Artic Fire Dogwood	3 gal	18" Height
COR AME	43	Corylus americana / American Hazelnut	3 gal	18" Height
HYD WEE	8	Hydrangea quercifolia 'Pee Wee'	3 gal	18" Height
ITE VIR	49	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire/Virginia Sweetspire	3 gal	18" Height
JUN BLB	77	Juniperus virginiana 'Blue Mountain' / Blue Mountain Juniper	3 gal	18" Height
RHU GRO	9	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	18" Height
TAX BE2	13	Taxus media 'Berryhill'	3 gal	18" Height
THU EME	7	Thuja occidentalis 'Emerald' / Emerald Arborvitae	3 gal	18" Height
VIB BAI	10	Viburnum trilobum 'Bailey Compactum' / Bailey's Compact American Cranberry Bush	3 gal	18" Height
GROUND COVERS	QTY	BOTANICAL/COMMON	CONT	REMARKS
HEM APA	215	Hemerocallis hybrid 'Chicago Apache'	1 gal @ 18" oc	
LIA ALB	63	Liatris spicata 'Alba' / Spike Blazing-star	1 gal @ 18" oc	
PAN SWI	220	Panicum virgatum / Switch Grass	1 gal @ 18" oc	
PEN DIG	104	Penstemon digitalis 'Huskers Red' / Husker Red Penstemon	1 gal @ 18" oc	
PHL SNO	202	Phlox subulata 'Snowflake'	flat @ 12" oc	
RUD FUL	38	Rudbeckia fulgida 'Goldsturm' / Goldsturm Black-eyed Susan	1 gal @ 18" oc	
SOD	13,000 SF	Bluegrass Sod		



SEE CIVIL PLANS FOR SEEDING



## TINLEY PARK DIALYSIS

For  
Tinley Park  
Healthcare, LLC

AC:  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477

Copyright 2014

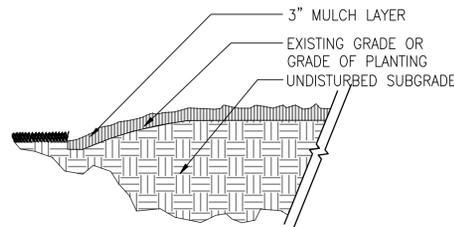
NO.	ISSUED FOR:	DATE
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

## LANDSCAPE PLAN

LP-100

Project: 14080B

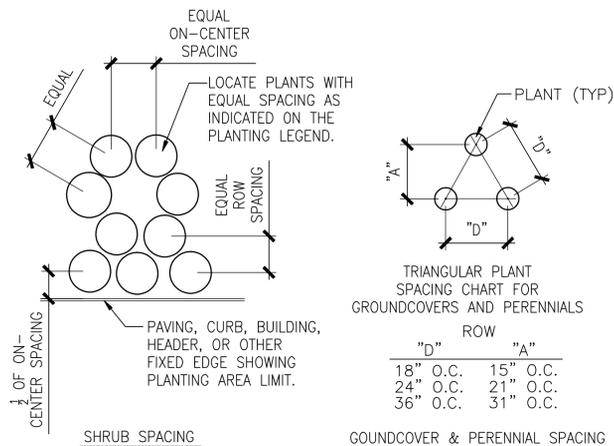
- NOTES:  
1. TRENCH EDGE DETAIL SHALL BE USED AT ALL LAWN EDGES AND AT EDGES OF MULCHED AREAS (FOR CONTAINMENT)  
2. TRENCH EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS, AND SHALL CREATE SMOOTH AND EVEN LINES (AS INDICATED ON PLANS)



**TRENCH EDGE DETAIL**

SCALE: 1"=1'-0"

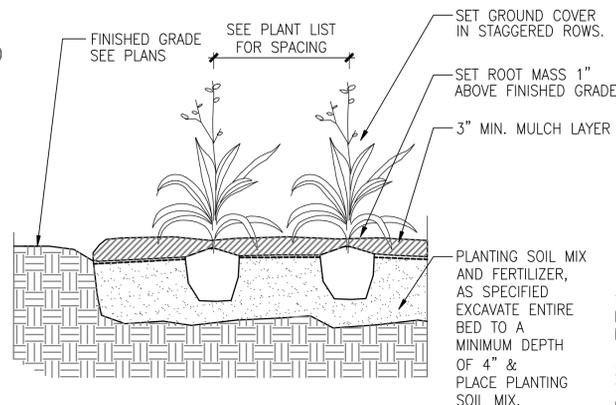
DT-trench-gyn



**PLANT SPACING DETAIL**

SCALE: 1/2"=1'-0"

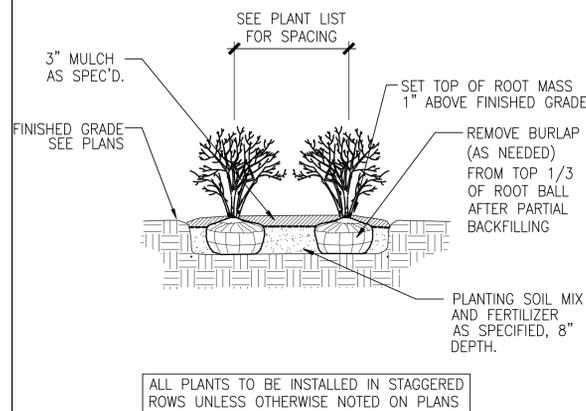
DT-plantspace-gyn



**GROUNDCOVER PLANTING**

SCALE: 1"=1'-0"

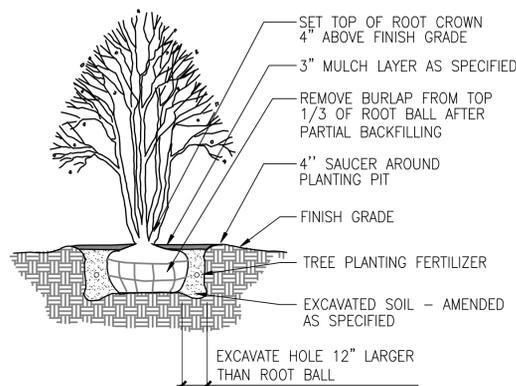
DT-groundcover-gyn



**SHRUB PLANTING DETAIL**

SCALE: 1/2"=1'-0"

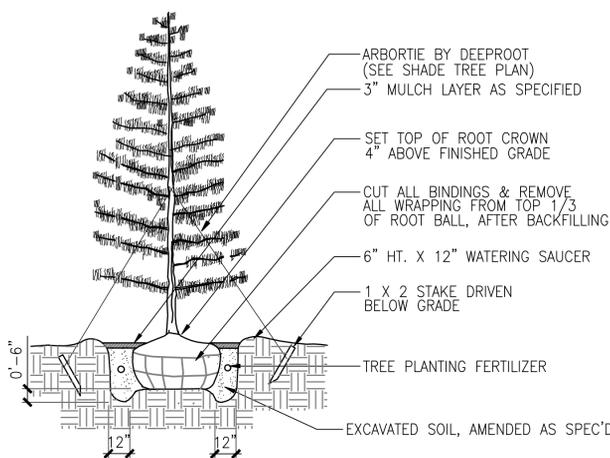
DT-shrub-gyn



**ORNAMENTAL TREE PLANTING**

SCALE: 1/4"=1'-0"

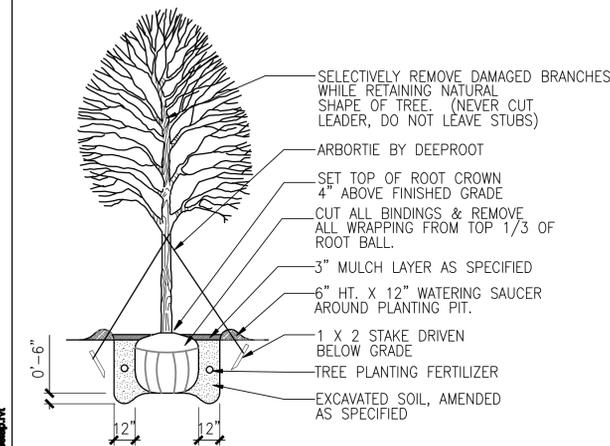
DT-ornamentaltree-gyn



**EVERGREEN TREE PLANTING**

SCALE: 1/4"=1'-0"

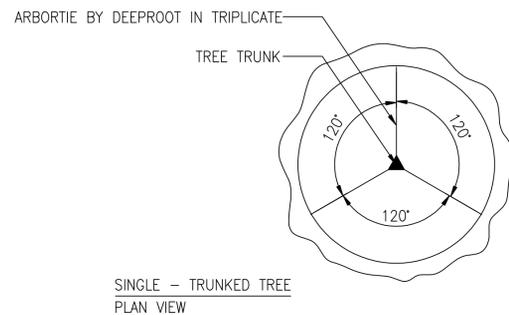
DT-evergreen-gyn



**SHADE TREE PLANTING**

SCALE: 1/4"=1'-0"

DT-tree-w-wire-gyn



**TREE GUYING DETAIL - SHADE TREE**

SCALE: 1/4"=1'-0"

DT-tree-w-wire-gyn-plan

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. SEE CONSTRUCTION NOTES.
2. DO NOT WILLFULLY PROCEED WITH PLANTINGS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY NECESSARY REVISIONS AND COSTS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AND/OR SUPPLIERS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
4. THE LANDSCAPE CONTRACTOR IS TO RECEIVE THE SITE AT +/- 1/10TH OF AN INCH. THE LANDSCAPE CONTRACTOR SHALL OBTAIN A LETTER OF GRADE FROM THE GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.
5. REFER TO SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION.
6. ALL TREES SHALL BE TAGGED BY THE PROJECT MANAGER AT A NURSERY SELECTED BY THE LANDSCAPE CONTRACTOR OR AT THE DISCRETION OF THE PROJECT MANAGER.
7. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF THE PROJECT MANAGER PRIOR TO DIGGING ANY HOLES. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROJECT MANAGER ADEQUATE ADVANCE NOTICE FOR ON-SITE APPROVALS. THE LANDSCAPE CONTRACTOR IS TO THE FOLLOWING BEFORE BEGINNING INSTALLING PLANTINGS:  
  
SHRUBS - LAY OUT THE ACTUAL CONTAINERS ON-SITE BEFORE DIGGING HOLES.  
  
TREES - STAKE THE LOCATIONS BEFORE DIGGING HOLES. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE PROJECT MANAGER MAY BE REQUESTED TO BE RELOCATED AT THE SOLE EXPENSE OF THE LANDSCAPE CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AT LEAST 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
9. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE PROJECT MANAGER FOR RESOLUTION.
10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANTS FREE OF PESTS AND/OR DISEASES. PRE-SELECTED OR "PROJECT MANAGER TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.
11. GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS INDICATED ON THE PLANS.
12. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, UNLESS OTHERWISE NOTED.
13. ALL TREES, SHRUB AND GROUNDCOVER AREAS (EXCLUDING TURF AND SLOPE AREAS) ARE TO BE MULCHED PER DETAILS.
14. ALL MULCH TO BE SHREDDED HARDWOOD MULCH.
15. TREES SHALL BE SET BACK A MINIMUM OF TEN FEET (10') HORIZONTALLY FROM UTILITY STRUCTURES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES, FIRE HYDRANTS, TRANSFORMERS AND SWITCH CANS. TREES SHALL BE SET BACK A MINIMUM OF FIVE (5') HORIZONTALLY FROM SANITARY SEWER AND WATER SERVICES. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS UNDER THE APPROVAL OF OWNER. REFER TO CIVIL DRAWINGS PREPARED BY OTHERS.
16. PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.
  1. SPRING PLANTING: 4/1 - 6/15
  2. FALL PLANTING: 9/1 - 11/1

**PLANTING NOTES**

SCALE: NTS

DT-plantnote-gyn

**TINLEY PARK DIALYSIS**

For  
**Tinley Park Healthcare, LLC**

AC  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477

Copyright 2014

NO.	ISSUED FOR:	DATE
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

**LANDSCAPE DETAILS**

LP-500

Project: 14080B



**TINLEY PARK  
DIALYSIS**

For  
**Tinley Park  
Healthcare, LLC**

At:  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477

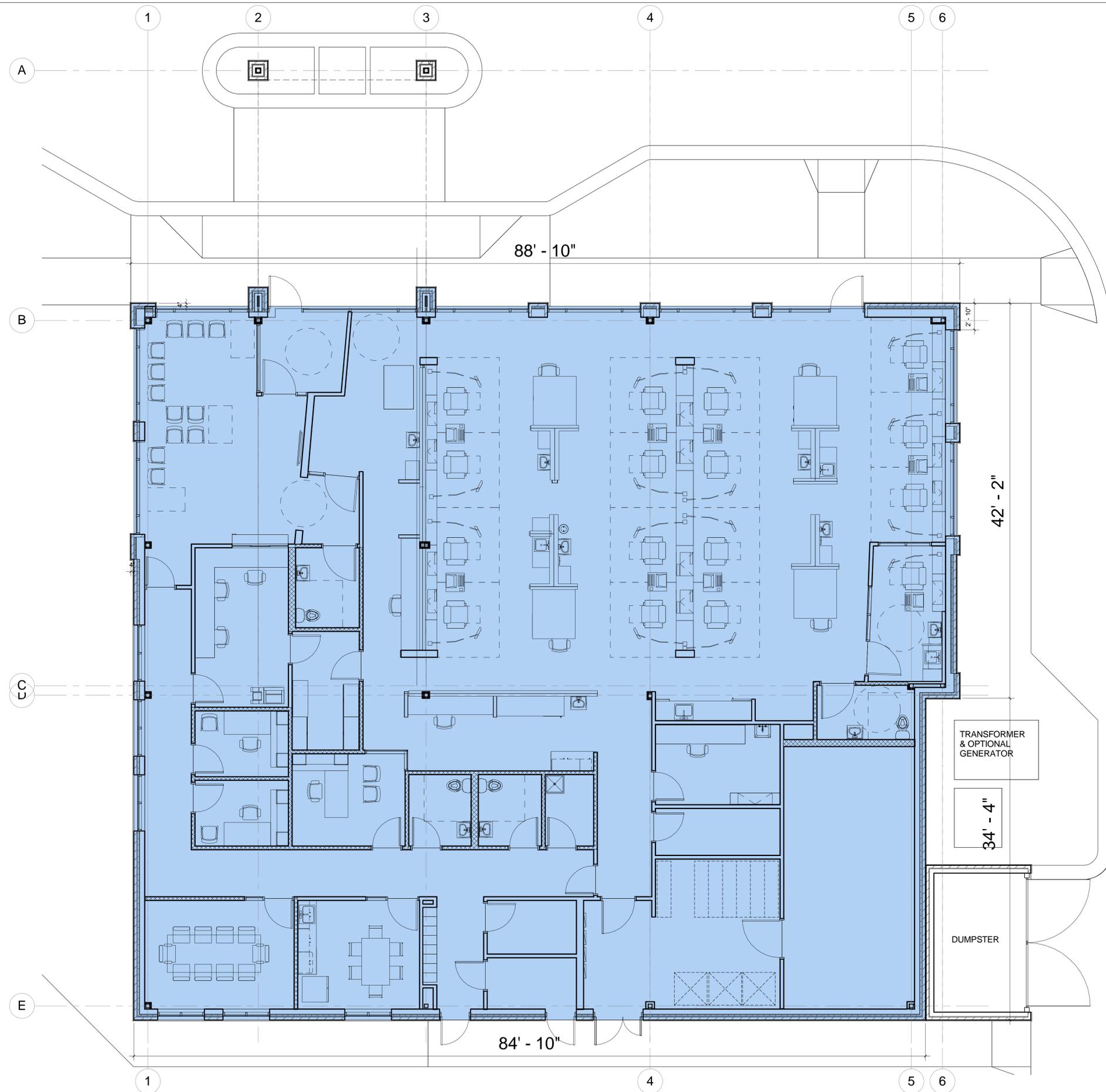
Copyright 2015

NO.	ISSUED FOR:	DATE
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

**FLOOR PLAN**

Project: 14080B

**A-1**



1 FLOOR PLAN - PRELIMINARY  
3/16" = 1'-0"

C:\Users\gslap\Documents\Tinley Park\_Shell\_gslap.rvt



**TINLEY PARK DIALYSIS**

For  
**Tinley Park Healthcare, LLC**

At:  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477



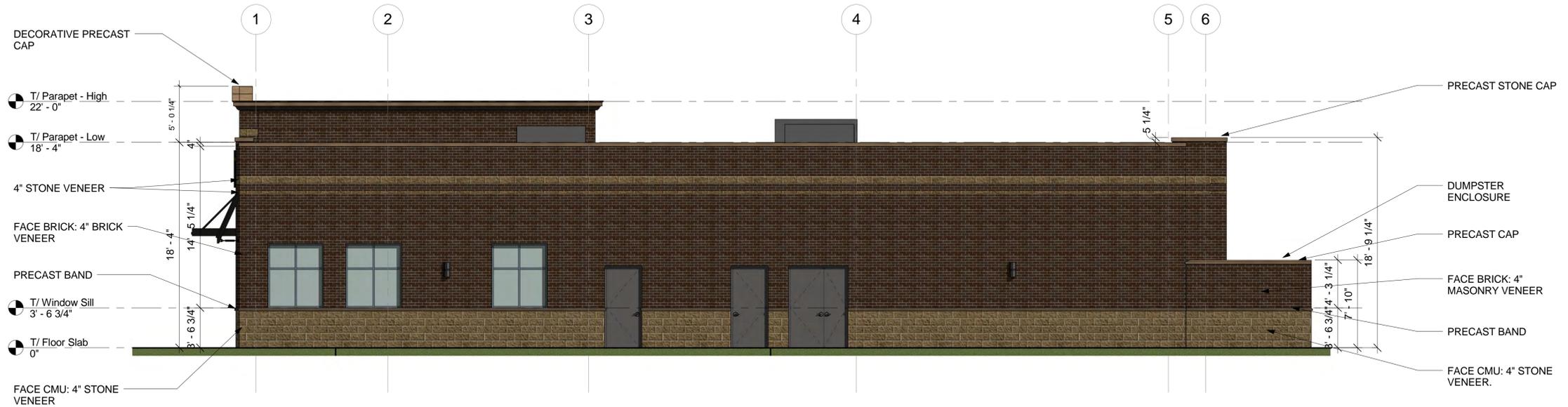
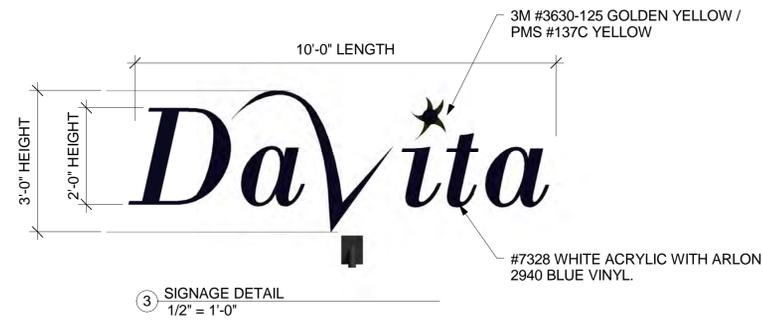
Copyright 2015

NO.	ISSUED FOR:	DATE
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

**ELEVATIONS**



1 WEST ELEVATION  
3/16" = 1'-0"



2 SOUTH ELEVATION  
3/16" = 1'-0"

**TINLEY PARK  
DIALYSIS**

For  
**Tinley Park  
Healthcare, LLC**

At:  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477

Copyright 2015

NO.	ISSUED FOR:	DATE
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

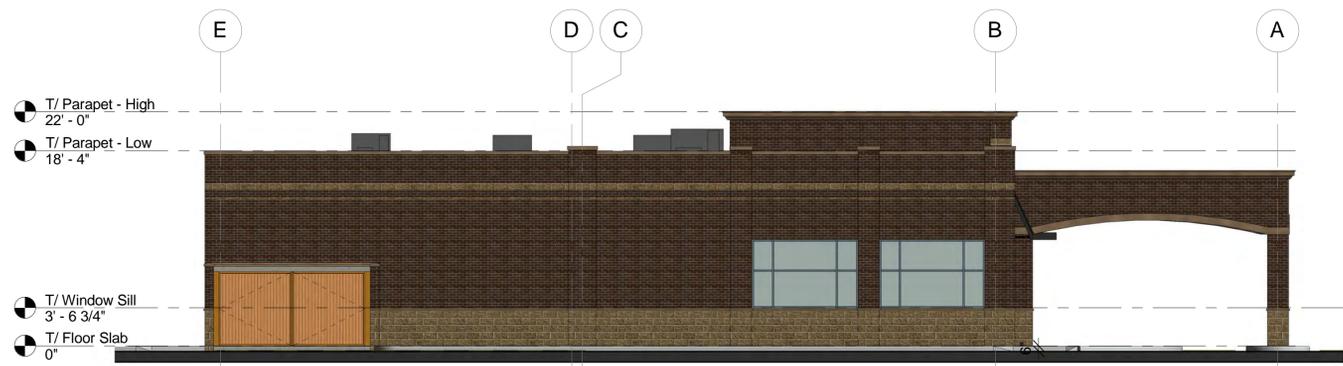
**ELEVATIONS**



1 NORTH ELEVATION - BRICK FACE PERCENTAGE  
1/8" = 1'-0"



4 WEST ELEVATION - BRICK FACE PERCENTAGE  
1/8" = 1'-0"



2 EAST ELEVATION - BRICK FACE PERCENTAGE  
1/8" = 1'-0"



3 SOUTH ELEVATION - BRICK FACE PERCENTAGE  
1/8" = 1'-0"

TABLE CALCULATIONS - BRICK PERCENTAGE

FAÇADE	AREA SQUARE FOOTAGE			PERCENTAGE	
	BRICK FACE	STONE FACE	WALL AREA	BRICK FACE	STONE FACE
1. NORTH ELEVATION	944.40	235.25	1,179.65	80.05%	19.95%
2. EAST ELEVATION	909.54	358.46	1,268.00	71.73%	28.27%
3. SOUTH ELEVATION	1,078.89	378.79	1,457.68	74.01%	25.99%
4. WEST ELEVATION	902.83	290.21	1,193.04	75.67%	24.33%
<b>TOTAL:</b>	<b>3,835.66</b>	<b>1,262.71</b>	<b>5,098.37</b>	<b>75.23%</b>	<b>24.77%</b>

TABLE CALCULATIONS - WINDOWS AND DOORS

FAÇADE	AREA SQUARE FOOTAGE
1. NORTH ELEVATION	643.62
2. EAST ELEVATION	128.76
3. SOUTH ELEVATION	198.56
4. WEST ELEVATION	303.41
<b>TOTAL:</b>	<b>1,274.35</b>

## TINLEY PARK DIALYSIS

For  
Tinley Park  
Healthcare, LLC

At:  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477

Copyright 2015

NO.	ISSUED FOR:	DATE
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

## TABLE CALCULATIONS - BRICK PERCENTAGE

Project: 14080B

**TINLEY PARK  
DIALYSIS**

For  
**Tinley Park  
Healthcare, LLC**

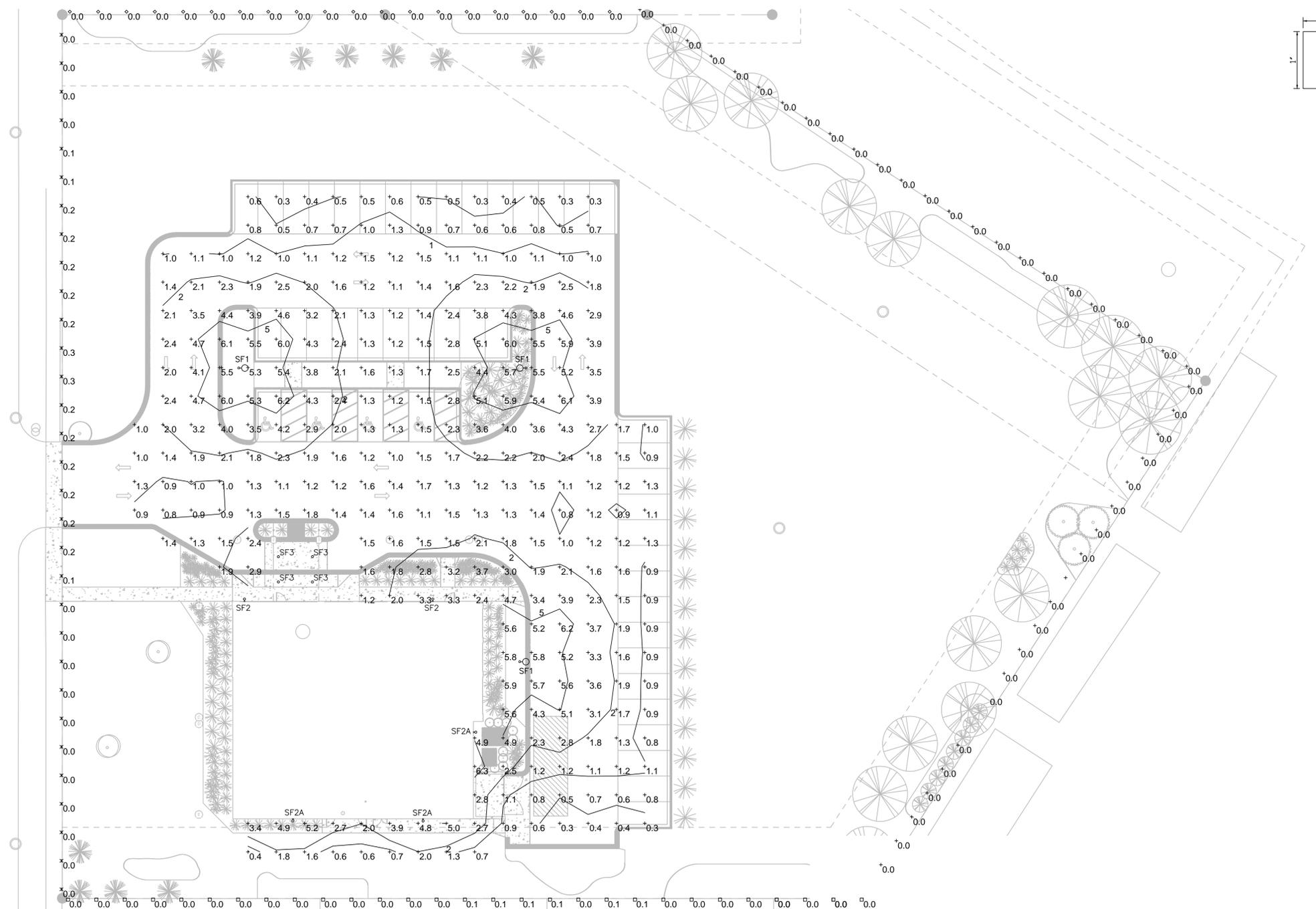
At:  
16767 S. 80TH AVE  
TINLEY PARK, IL 60477

Copyright 2014

No.	Description	Date
	VILLAGE PLAN REVIEW	01/20/15
	VILLAGE PLAN RE-SUBMITTAL	02/27/15

**SITE LIGHTING PLAN**

Project: 14080B **SL1.00**



**1 SITE LIGHTING PLAN**  
1" = 20'-0"

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East Property lines	+	0.0 fc	0.0 fc	0.0 fc	N / A	N / A
North property line	◇	0.0 fc	0.0 fc	0.0 fc	N / A	N / A
Parking Lot	+	2.3 fc	6.3 fc	0.3 fc	21.0:1	7.7:1
South property line	■	0.0 fc	0.1 fc	0.0 fc	N / A	N / A
West property line	×	0.1 fc	0.3 fc	0.0 fc	N / A	N / A

SITE LIGHTING FIXTURE AND POLE SCHEDULE								
TYPE	DESCRIPTION	QUANT.	LAMP		FIXTURE		MANUFACTURER AND CATALOG SERIES	MEAN LUMENS
			TYPE/CRI-CT	WATTS	VOLTS	WATTS		
SF1	ROUND FULL CUTOFF PARKING LOT METAL HALIDE FIXTURE	1	400W MH	460	120	PHILIPS WIDELITE # AL3RP-400-5F-120-SS-NP	33,000	
	20' SQUARE POLE	N/A	N/A	N/A	N/A	PHILIPS # COMPATIBLE WITH AL3R FIXTURE		
SF2	WALL MOUNTED EXTERIOR LED DECORATE SCENCE FULL CUTOFF	1	LED	55	120	PHILIPS GARDCO # 106L-4-55LA-120-NP	3,900	
SF2A	WALL MOUNTED EXTERIOR LED DECORATE SCENCE FULL CUTOFF	1	LED	35	120	PHILIPS GARDCO # 106L-2-35LA-120-NP	2,800	
SF3	7" RECESSED METAL HALIDE CANOPY DOWNLIGHT MAGNETIC BALLAST	1	70W MH/ED17	94	120	LIGHTOLIER, CALCULITE # C770MHU FRAME KIT C7E17PLWHW REFLECTOR TRIM	4,500	

NOT FOR CONSTRUCTION  
**PRELIMINARY**  
WMA CONSULTING ENGINEERS LTD.



© 15002-00 SL1.00 DWG. Last edited by FIZ on 02-23-2015 @ 4:43  
Copyright © 2015, WMA CONSULTING ENGINEERS, LTD.



# FINAL ENGINEERING PLANS FOR

# MEDICAL BUILDING SITE WORK

## VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST

### INDEX OF DRAWINGS

1. COVER SHEET
2. GENERAL NOTES & LEGEND
3. SITE PLAN
4. UTILITY AND DRAINAGE PLAN
5. GRADING PLAN
6. STORMWATER POLLUTION PREVENTION PLAN
7. EROSION CONTROL NOTES
8. EROSION CONTROL DETAILS
9. UTILITY DETAILS
10. UTILITY DETAILS
11. UTILITY DETAILS
12. UTILITY DETAILS
13. PAVEMENT DETAILS
- T1. TRIBUTARY AREA

ESI CONSULTANTS PROJECT NO: 14-581

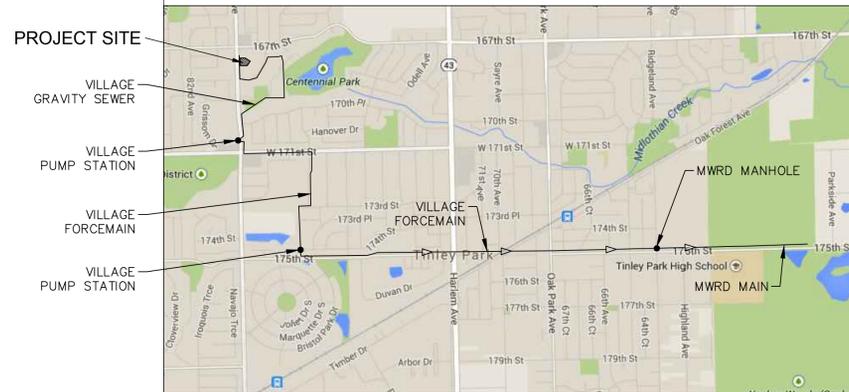
### OWNER

TINLEY PARK HEALTHCARE, LLC.  
2932 FOSTER CREIGHTON DRIVE  
NASHVILLE, TN 37204  
TEL: 615.986.2660 | FAX: 615.467.0479

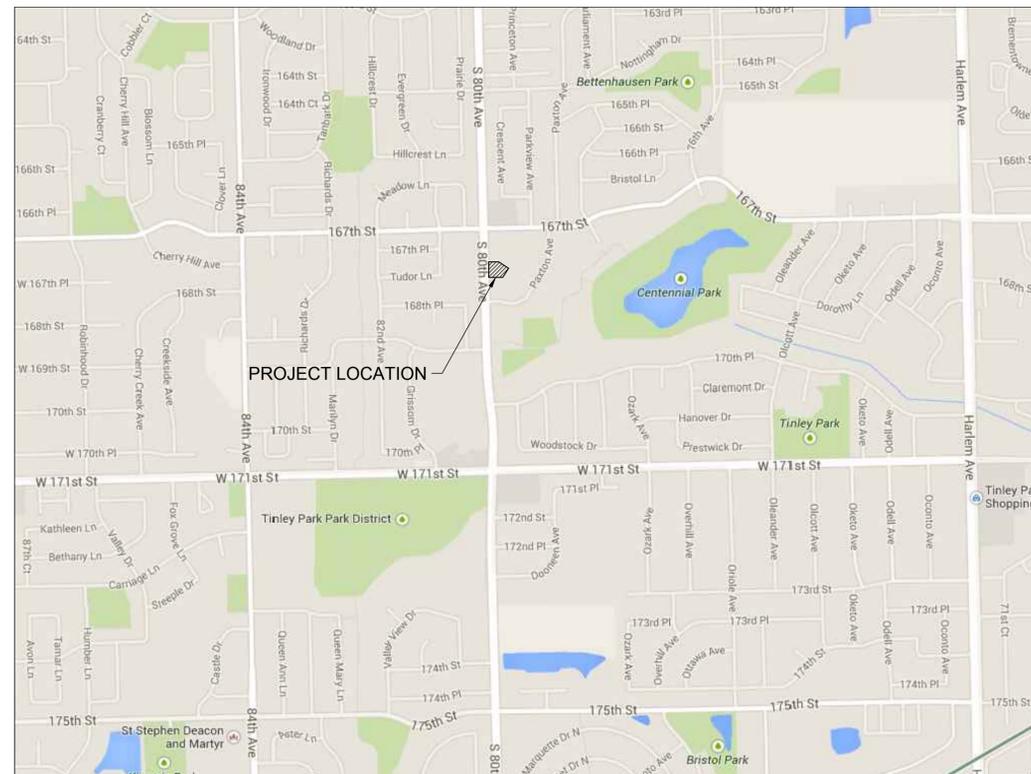
### ENGINEER

ESI CONSULTANTS, LTD  
1979 NORTH MILL STREET, SUITE 100  
NAPERVILLE, IL 60563  
TEL: 630.420.1700 | FAX: 630.420.1733

### SANITARY SEWER ROUTE



### STORM SEWER ROUTE



LOCATION MAP  
NOT TO SCALE

### BENCHMARKS

THE ONE FOOT CONTOURS SHOWN ON SURVEY ORIGINATED FROM BENCHMARK TPK83 WHICH IS AN ARROW ON THE FIRST HYDRANT SOUTH OF 167TH STREET EAST SIDE OF 80TH AVENUE. BENCHMARK TPK83 HAS AN ELEVATION OF 708.48 FEET.

### ENGINEERING PLAN SUBMITTAL

THESE ENGINEERING PLANS AND SUPPORTING DOCUMENTS ARE ISSUED FOR THE FOLLOWING PURPOSE ONLY

PRELIMINARY PLAN REVIEW NO.	
FINAL PLAN REVIEW NO.	
PERMIT APPLICATION NO.	
BIDDING	
CONSTRUCTION	

### PROFESSIONAL ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 27TH DAY OF FEBRUARY, 2015

*Anthony Malone*  
ANTHONY MALONE  
ILLINOIS REG. PROF. ENGINEER NO. 062-049869  
REGISTRATION EXPIRES 11-30-2015



NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581	ENGR. AGM
FILE:	TECH. SH
DATE: 01/20/15	QAQC:

**GENERAL CONSTRUCTION NOTES**

1. ALL EARTHWORK AND STREET CONSTRUCTION WITHIN THE LIMITS OF THE PROJECT SHALL BE DONE IN ACCORDANCE WITH THE (SSRBC) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, CURRENT EDITION, AND ALL SUPPLEMENTS AND REVISIONS THERETO, THE "SPECIAL PROVISIONS", THESE "CONSTRUCTION NOTES" AND THE STANDARD SPECIFICATIONS OF THE VILLAGE OF TINLEY PARK.
2. ALL SEWER AND WATER MAIN CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, AND ALL SUPPLEMENTS AND REVISIONS THERETO, THE "SPECIAL PROVISIONS", THESE "CONSTRUCTION NOTES" AND THE STANDARD SPECIFICATIONS OF THE VILLAGE OF TINLEY PARK.
3. A COPY OF THE ABOVE SPECIFICATIONS SHALL BE IN THE POSSESSION OF THE CONTRACTOR OF THIS PROJECT AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING, AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC.
5. EXISTING UTILITIES AND UTILITY EASEMENTS, BOTH PUBLIC AND PRIVATE, ARE SHOWN ON THE PLANS ACCORDING TO INFORMATION AVAILABLE TO THE ENGINEER AND ARE ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF ALL UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT SAID CONFLICT MAY BE RESOLVED.
6. ALL FIELD OFFICES, STORAGE TRAILERS, AND EQUIPMENT SHALL BE PLACED ON SITE. PLACEMENT SHALL BE COORDINATED WITH THE VILLAGE OF TINLEY PARK PRIOR TO THE START OF WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY. CONTRACTOR SHALL COMPLY WITH O.S.H.A. REQUIREMENTS.
8. ANY OPEN EXCAVATIONS OR OTHER POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES, AND GENERAL PUBLIC SAFETY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER BRACING, SHORING, AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE VILLAGE OF TINLEY PARK.
10. NO BURNING OR INCINERATION OF TREES, BRUSH OR RUBBISH WILL BE PERMITTED.
11. SAWING OF EXISTING PAVEMENT SURFACES WHEN REQUIRED FOR REMOVAL OR CONSTRUCTION WILL NOT BE PAID SEPARATELY BUT WILL BE CONSIDERED INCIDENTAL TO THE VARIOUS REMOVAL PAY ITEMS.
12. THE CONTRACTOR SHALL GIVE THE MUNICIPALITY TWO (2) WORKING DAYS NOTICE PRIOR TO COMMENCING WORK.  
VILLAGE OF TINLEY PARK (708) 444-5000

**TRENCHING / EARTHWORK / EXCAVATION / GRADING**

1. GRANULAR FOUNDATION AND BACKFILL TRENCH SECTIONS FOR SANITARY SEWER, STORM SEWER AND WATER MAIN ARE TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, AND ALL SUPPLEMENTS AND REVISIONS THERETO, THE "SPECIAL PROVISIONS", THESE "CONSTRUCTION NOTES", THE STANDARD SPECIFICATIONS OF THE VILLAGE OF TINLEY PARK, AND THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD).
2. ALL SURPLUS EXCAVATED MATERIALS, CONSTRUCTION AND DEMOLITION DEBRIS, INCLUDING EXCESS OR UNSUITABLE MATERIAL, SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
3. CONTRACTOR SHALL EXCAVATE AN EXPLORATORY TRENCH TO DETERMINE EXACT LOCATIONS AND ELEVATIONS AT UTILITY CROSSINGS AND CONNECTIONS TO EXISTING, AS APPROVED BY ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND AND/OR SURFACE UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THESE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE VILLAGE OF TINLEY PARK.
5. EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN THE PUBLIC RIGHT OF WAY ARE SHOWN ON THESE PLANS ACCORDING TO INFORMATION AVAILABLE IN THE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, IN THE FIELD, OF THESE UTILITIES, AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT MAY BE RESOLVED.
6. CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT AS PREPARED BY TERRACAN CONSULTANTS, INC., DATED JANUARY 20, 2015 UNDER PROJECT # MR155000 FOR SITE PREPARATION AND MASS GRADING.

**SANITARY SEWER**

1. ALL SANITARY SEWER CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, AND ALL SUPPLEMENTS AND REVISIONS THERETO, THE "SPECIAL PROVISIONS", THESE "CONSTRUCTION NOTES", THE STANDARD SPECIFICATIONS OF THE VILLAGE OF TINLEY PARK, AND THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD).
2. GRANULAR FOUNDATION AND BACKFILL TRENCH SECTIONS FOR SANITARY SEWER ARE TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
3. GRANULAR BEDDING, HAUNCHING AND INITIAL BACKFILL ASTM D2321, CL IA SHALL BE PROVIDED FOR THE ENTIRE LENGTH OF THE SANITARY SEWER AND SANITARY SEWER SERVICES. THE COST FOR THE BEDDING, HAUNCHING AND INITIAL BACKFILL SHALL BE MERGED WITH THE COST OF THE SANITARY SEWER AND SANITARY SEWER SERVICES RESPECTIVELY AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
4. ALL SANITARY SEWER PIPE SHALL BE ANS/AWWA D-3034 SDR 26 PVC WITH JOINTS MEETING SPECIFICATION ASTM D-3212.
5. STRUCTURES FOR SANITARY SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS.
6. EXCEPT WHERE INDICATED OTHERWISE IN THE PLANS, ALL MANHOLES SHALL HAVE A FRAME CONFORMING TO NEENAH R-1712 OR R-1510.
7. ALL LIDS SHALL BE NEENAH R-1712 OR R-1510 TYPE "B" SELF SEALING WITH A CONCEALED PICK HOLE. "VILLAGE OF TINLEY PARK" AND "SANITARY" SHALL BE CAST INTO THE TOP SURFACE TO IDENTIFY THE LINE. (SEE SPECIAL DETAIL) ALL TOPS OF FRAMES FOR SANITARY SEWER ARE TO BE ADJUSTED TO MEET FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THE ADJUSTMENT SHALL NOT EXCEED 8 INCHES. ALL MANHOLE COVERS SHALL BE WATER TIGHT.
8. STEPS SHALL BE INSTALLED IN ALL SANITARY MANHOLES ON 16" CENTERS (NEENAH R-1981-1 CAST IRON OR EAST JORDAN 8533).
9. SANITARY SEWERS SHALL BE TESTED FOR ACCEPTANCE BY THE CONTRACTOR, AND WITNESSED BY THE VILLAGE OR ITS AUTHORIZED REPRESENTATIVE, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 31-1.11 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS WITH METHOD D, DEFLECTION FOR FLEXIBLE THERMOPLASTIC PIPE TO BE USED. THE COST OF TESTING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SANITARY SEWER AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED. ALL PROPOSED SANITARY MANHOLES SHALL BE LEAKAGE TESTED IN ACCORDANCE WITH ASTM C989-94 OR ASTM C1244-93 PRIOR TO PLACING INTO SERVICE.
10. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH WILL BE PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.
11. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORING OR SAW-CUTTING THE EXISTING STRUCTURE. BREAKING INTO STRUCTURES WILL NOT BE ALLOWED.

**WATERMAIN**

1. ALL WATER MAIN CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, AND ALL SUPPLEMENTS AND REVISIONS THERETO, THE "SPECIAL PROVISIONS", THESE "CONSTRUCTION NOTES" AND THE STANDARD SPECIFICATIONS OF THE VILLAGE OF TINLEY PARK.
2. GRANULAR FOUNDATION AND BACKFILL TRENCH SECTIONS FOR WATER MAINS ARE TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS. GRANULAR BEDDING TYPE 5 SHALL BE PROVIDED FOR THE ENTIRE LENGTH OF THE WATER MAIN. THE COST OF THE BEDDING SHALL BE MERGED WITH THE COST FOR THE WATER MAIN AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
3. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 5.5' FROM THE PROPOSED FINAL GRADE. IF EXISTING VALVES ARE TO BE USED DURING PRESSURE TESTING, THE CONTRACTOR IS RESPONSIBLE FOR PASSING TESTS.
4. WHERE SPECIFIED IN THE PLANS, DUCTILE CAST IRON, CLASS 52, IN ACCORDANCE WITH ANS/AWWA C-151/A21.51 AND ANS/AWWA C-111/A21.1 STANDARDS, FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO THE LATEST ANS SPECIFICATION A21.10 AND AWWA C-100. ALL PIPE AND FITTINGS SHALL BE CEMENT LINED WITH ANS/AWWA C-100. ALL JOINTS SHALL BE PUSH-ON OR MECHANICAL. ELECTRICAL CONDUCTIVITY SHALL BE PROVIDED WITH BRASS WEDGES. CORROSION PROTECTION OF THE WATER MAIN SHALL BE PROVIDED THROUGH THE USE OF A PROPERLY INSTALLED 8 MIL POLYETHYLENE WRAPPED ENCASEMENT, IN ACCORDANCE WITH ANS/AWWA STANDARDS FOR POLYETHYLENE ENCASEMENT, WITH TAPED JOINTS. PROVIDE JOINT RESTRAINTS IN ACCORDANCE WITH VILLAGE STANDARDS.
5. VALVE VAULT STRUCTURES FOR WATER MAIN SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS, WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURES.
6. EXCEPT WHERE INDICATED OTHERWISE IN THE PLANS, ALL VALVE VAULTS SHALL HAVE A FRAME CONFORMING TO NEENAH R-1712.
7. ALL LIDS SHALL BE NEENAH R-1712 WITH A CONCEALED PICK HOLE. "VILLAGE OF TINLEY PARK" AND "WATER" SHALL BE CAST INTO THE TOP SURFACE TO IDENTIFY THE LINE.
8. ALL TOPS OF FRAMES FOR VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE WATER AND SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THE ADJUSTMENT SHALL NOT EXCEED 8 INCHES.
9. SELECT GRANULAR BACKFILL (CA-7 OR CA-11) SHALL BE PROVIDED FOR ALL WATER SERVICES UNDER AND WITHIN 2 FEET OF EXISTING OR PROPOSED PAVEMENT, AS SPECIFIED IN THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION.
10. STEPS SHALL BE INSTALLED IN ALL VALVE VAULTS (NEENAH R-1981-1 CAST IRON OR EAST JORDAN 8533 ON 16" CENTERS) HAVING A WATER MAIN BURY DEPTH GREATER THAN 6 FEET.
11. PROVIDE EAST JORDAN 98725 VALVE BOX STABILIZER AND TYLER 6850 SERIES AUXILIARY VALVE AND AUXILIARY VAULT W/ S.S. TRIM AT ALL FIRE HYDRANTS.
12. ALL WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS A MINIMUM OF 10' HORIZONTALLY (WHEN RUNNING PARALLEL) OR 18" VERTICALLY WHEN CROSSING. IN ADDITION, IF THE WATER MAIN LIES BELOW THE SEWER MAIN, THE WATER MAIN SHALL BE ENCASED IN A WATER TIGHT SLEEVE SUCH THAT NEITHER END OF THE SLEEVE IS CLOSER THAN 10" AS MEASURED PERPENDICULAR FROM THE SEWER. WATER MAIN PROTECTION FOR CROSSING SEWER LINES SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT UNIT PRICE FOR WATER MAIN.
13. CONTRACTOR SHALL TEST WATER MAINS FOR ACCEPTANCE BY PRESSURE TESTING IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, AS REQUIRED BY THE VILLAGE OF TINLEY PARK. THE NEW WATER MAIN MUST BE PRESSURE TESTED AT 150 PSI FOR 2 HOURS WITH NO PRESSURE LOSS. IF EXISTING VALVES ARE USED FOR PRESSURE TESTS, THE CONTRACTOR REMAINS RESPONSIBLE FOR PASSING THE TESTS. TESTING SHALL BE WITNESSED BY A REPRESENTATIVE OF THE VILLAGE OF TINLEY PARK. COST OF TESTING SHALL BE INCLUDED IN THE UNIT PRICE FOR WATER MAIN CONSTRUCTION AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
14. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH WILL BE PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE, UNLESS MATERIAL IS CONSIDERED SPECIAL WASTE.
15. PROVIDE 18" MINIMUM SPACING BETWEEN ALL WATER MAIN FITTINGS (AS MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT FITTINGS).
16. ALL FITTINGS SHALL BE CONNECTED TO SECTIONS OF WATER MAIN PIPE BY MEANS OF A POSITIVE RESTRAINING JOINT CONSISTING OF MECHANICAL JOINTS WITH RETAINER GLAND OR MEGALUG.

**STAKING**

1. THE CONTRACTOR SHALL PROTECT AND CAREFULLY PRESERVE ALL SECTION OR SUBSECTION MONUMENTS, PROPERTY CORNERS, AND REFERENCE MARKERS UNTIL THE OWNER, HIS AGENT, OR A PROFESSIONAL LAND SURVEYOR HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATIONS.
2. STRUCTURE OFFSET LOCATIONS GIVEN ON THE DETAILED PLANS ARE TO THE FOLLOWING POINTS:
  - A. FOR STRUCTURES FALLING IN THE CURB LINE--TO THE BACK OF CURB
  - B. FOR ALL OTHER STRUCTURES--TO THE CENTER OF THE STRUCTURE.
3. ALL ELEVATIONS ARE ON U.S.G.S. DATUM.. ALL OFFSET LOCATIONS GIVEN ON THE DETAILED PLANS FOR STRUCTURES, BACK OF CURB, ETC., ARE FROM THE BASELINE AS SHOWN ON THE PLANS.
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION STAKING AND LAYOUT.

**STORM SEWER**

1. ALL STORM SEWER CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, AND ALL SUPPLEMENTS AND REVISIONS THERETO, THE "SPECIAL PROVISIONS", THESE "CONSTRUCTION NOTES" AND THE STANDARD SPECIFICATIONS OF THE VILLAGE OF TINLEY PARK.
2. STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. ALL JOINT SECTIONS SHALL BE SEALED WITH CONTINUOUS BUTYL MASTIC ROPE & MORTARED WITH NON-SHRINK MORTAR WHICH SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE VARIOUS SEWER PAY ITEMS.
3. EXCEPT WHERE INDICATED OTHERWISE IN THE PLANS, ALL MANHOLES SHALL HAVE A FRAME CONFORMING TO NEENAH R-1712 OR R-2504.
4. EXCEPT WHERE INDICATED OTHERWISE IN THE PLANS, ALL LIDS SHALL BE NEENAH R-1712 TYPE "B" SELF SEALING WITH A CONCEALED PICK HOLE. "VILLAGE OF TINLEY PARK" AND "STORM" SHALL BE CAST INTO THE TOP SURFACE TO IDENTIFY THE LINE.
5. EXCEPT WHERE INDICATED OTHERWISE IN THE PLANS, ALL GRATES SHALL BE NEENAH R-2504 TYPE "D".
6. ALL TOPS OF FRAMES FOR STORM SEWER ARE TO BE ADJUSTED TO MEET FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER CONTRACTOR AND SHALL NOT EXCEED 12 INCHES.
7. STEPS SHALL BE INSTALLED IN ALL STORM MANHOLES ON 16" CENTERS (NEENAH R-1981-1 CAST IRON OR EAST JORDAN 8533).
8. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORING OR SAW-CUTTING THE EXISTING STRUCTURE. BREAKING INTO STRUCTURES WILL NOT BE ALLOWED.
9. IN LINE CURB STRUCTURES MAY NOT INCLUDE THE USE OF SHIMS. ALL FRAMES SHALL SIT DIRECTLY ABOVE THE ADJACENT RINGS OR FLAT TOP. OFFSET FRAMES WILL NOT BE ACCEPTED.
10. LIDS AND GRATES, WHERE PRACTICAL, SHALL COMPLY WITH NPDES PHASE II BEST MANAGEMENT PRACTICES THROUGH APPROPRIATE FACIAL MARKINGS.
11. PROVIDE TRENCH BACKFILL FOR ALL UTILITY LINES UNDER OR WITHIN 2 FEET OF PAVED AREAS.
12. MATERIAL SHALL BE:
  - A. REINFORCED CONCRETE PIPE (RCP), WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ASTM C-76, CLASS IV.
  - B. POLYVINYL CHLORIDE PIPE (PVC), WHERE INDICATED ON THE PLANS, WITH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ASTM D-2241, SDR-26.
  - C. GASKETED CONCRETE STORM SEWER SHALL HAVE JOINTS CONFORMING TO ASTM C-361 OR C-443.
13. JOINTS SHALL BE:
  - A. FOR RCP; BELL AND SPIGOT TYPE WITH BITUMINOUS MASTIC OR ASTM C-361 GASKETED JOINTS WHERE INDICATED ON THE ENGINEERING PLAN.
  - B. FOR PVC; RING-TITLE TYPE MEETING ASTM D-3139.
14. BEDDING SHALL BE AS DETAILED ON THE ENGINEERING PLANS.
15. SIZE SHALL BE AS INDICATED ON THE ENGINEERING PLANS.

**PAVEMENT / ROADWAYS / TRAFFIC CONTROL**

1. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. ARRANGEMENTS SHALL BE MADE FOR PROPER SHORING, BRACING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE VILLAGE OF TINLEY PARK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE GENERAL PUBLIC DURING CONSTRUCTION OPERATIONS.
3. CONTRACTOR SHALL NOTIFY THE VILLAGE, ENGINEER AND EMERGENCY DISPATCHER OF ANY ROAD OR LANE CLOSURE A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.

**MWRD GENERAL NOTES**

1. The MWRD Local Sewer Systems Section Field Office must be notified at least two (2) working days prior to the commencement of any work (call 708-588-4055).
2. Elevation datum is U.S.G.S.  
All floor drains shall discharge to the sanitary sewer system.
3. All downspouts and footing drains shall discharge to the storm sewer system.
4. All sanitary sewer pipe materials and joints (and storm sewer pipe materials and joints in a combined sewer area) shall conform to:

**Pipe Material Spec. Joint Spec.**

<b>Vitrified Clay Pipe</b>	
VCP C-700	C-425
VCP (No-Bel) C-700	C-425
Joint	C-425
Collar	D-1784
<b>Concrete Pipe C-14</b>	C-443
RCP C-76	C-443
ACP C-428	D-1869
<b>ABS Sewer Pipe</b>	SDR 23.5
Solid Wall 6 dia.	D-2751
ABS D-2751	D-2751
<b>ABS Composite/Truss Pipe</b>	
8"-15" dia.	D-2680
ABS D-2680	D-2680
<b>PVC Gravity Sewer Pipe</b>	
6"-15" dia. SDR 26	D-3212 or D-2855
D-3034	D-3212 or D-2855
18"-27" dia. F/dy=46	D-3212 or D-2855
F-679	C-564
CISP A-74	A-21.11
DIP A-21.51	A-21.11

6. All sanitary sewer construction (and storm sewer construction in combined sewer areas), requires stone bedding with stone 1/4" to 1" in size, with minimum bedding thickness equal to 1/4" the outside diameter of the sewer pipe, but not less than four (4) inches nor more than eight (8) inches. Material shall be CA-11 or CA-13 and shall be extended at least 12" above the top of the pipe when using PVC.

"Band Seal" or similar flexible-type couplings shall be used in the connection of sewer pipes of dissimilar materials.

7. When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole, one of the following methods shall be used:
  - a. Circular saw-cut of sewer main by proper tools ("Shewer-Top" machine or similar) and proper installation of hubwye saddle or hub-tee saddle.
  - b. Remove an entire section of pipe (breaking only the top of one bell) and replace with a wye or tee branch section.
  - c. With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Band Seal" or similar couplings to hold it firmly in place.

9. Whenever a sanitary/combined sewer crosses under a watermain, the minimum vertical distance from the top of the sewer to the bottom of the watermain shall be 18 inches. Furthermore, a minimum horizontal distance of 10 feet between sanitary/combined sewers and watermains shall be maintained unless: the sewer is laid in a separate trench, keeping a minimum 18" vertical separation; or the sewer is laid in the same trench with the watermain located at the opposite side on a bench of undisturbed earth, keeping a minimum 18" vertical separation. If either the vertical or horizontal distances described above cannot be maintained, or the sewer crosses above the watermain, the sewer shall be constructed to watermain standards.

10. All existing septic systems shall be abandoned. Abandoned tanks shall be filled with granular material or removed.
11. All sanitary manholes, (and storm manholes in combined sewer areas), shall have a minimum inside diameter of 48 inches, and shall be cast in place or pre-cast reinforced concrete.

**LEGEND**

EXISTING		PROPOSED
-----	PROPERTY LINE	-----
-----	RIGHT-OF-WAY	-----
-----	EASEMENT	-----
-----	BUILDING SETBACK	-----
-----	TEMPORARY EASEMENT	-----
-----ELEV-----	MAJOR CONTOUR (5')	-----ELEV-----
-----ELEV-----	MINOR CONTOUR (1')	-----ELEV-----
-----C-----	STORM SEWER	-----C-----
-----<-----	UNDERDRAIN PIPE	-----<-----
○	STORM MANHOLE	●
○	CATCH BASIN	●
□	INLET	■
▽	FLARED END SECTION	▽
⊙	STORM CLEANOUT	⊙
⊙	DOWNSPOUT	⊙
▲	SANITARY SEWER	▲
←	SANITARY SERVICE	←
⊙	SANITARY MANHOLE	⊙
⊙	SANITARY CLEANOUT	⊙
W	WATERMAIN	W
-----	WATER SERVICE / FIRE	-----
⊗	VALVE VAULT	⊗
⊙	FIRE HYDRANT	⊙
⊙	VALVE BOX	⊙
⊗	BUFFALO BOX	⊗
⊙	MONITORING WELL	⊙
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
□	POWER POLE	■
☼	POWER POLE W/ LIGHT	☼
⊙	ELECTRIC MANHOLE	⊙
⊙	ELECTRIC METER	⊙
⊙	ELECTRIC SPLICE BOX	⊙
T	TELEPHONE	T
○	TELEPHONE POLE	●
⊙	TELEPHONE VAULT	⊙
⊙	TELEPHONE SPLICE BOX	⊙
TV	CABLE TELEVISION	TV
FOC	FIBER OPTIC CABLE	FOC
⊙	CABLE SPLICE BOX	⊙
G	GAS	G
⊙	GAS METER	⊙
G	GAS VALVE	G
⊙	GAS REGULATOR	⊙
⊙	GAS PUMP	⊙
OIL	OIL	OIL
▲	TRAFFIC SIGNAL	▲
▲	TRAFFIC SIGNAL ARM	▲
□	STREET SIGN	■
□	SIGN AND POST	■
X	FENCE	X
●	GUARDRAIL	●
PXXXX.XX	PAVEMENT ELEVATION	PXXXX.XX
TCXXXX.XX	TOP OF CURB ELEVATION	TCXXXX.XX
FLXXXX.XX	FLOW OF LINE ELEVATION	FLXXXX.XX
TWXXXX.XX	TOP OF WALL ELEVATION	TWXXXX.XX
GXXXX.XX	GRADE ELEVATION	GXXXX.XX
RXXXX.XX	TOP OF RIM ELEVATION	RXXXX.XX
FFE=XXXX.XX	FINISH FLOOR ELEVATION	FFE=XXXX.XX

K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development 14-581.dwg, 2/27/2015 10:28:42 AM, DWG To PDF.pc3

**ESI CONSULTANTS, LTD**  
 1879 N. MILL STREET, SUITE 100  
 NAPERVILLE, IL 60563  
 (630) 420-1700  
 WWW.ESICONSULTANTS.LTD.COM  
 ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION REGISTRATION #184-003685

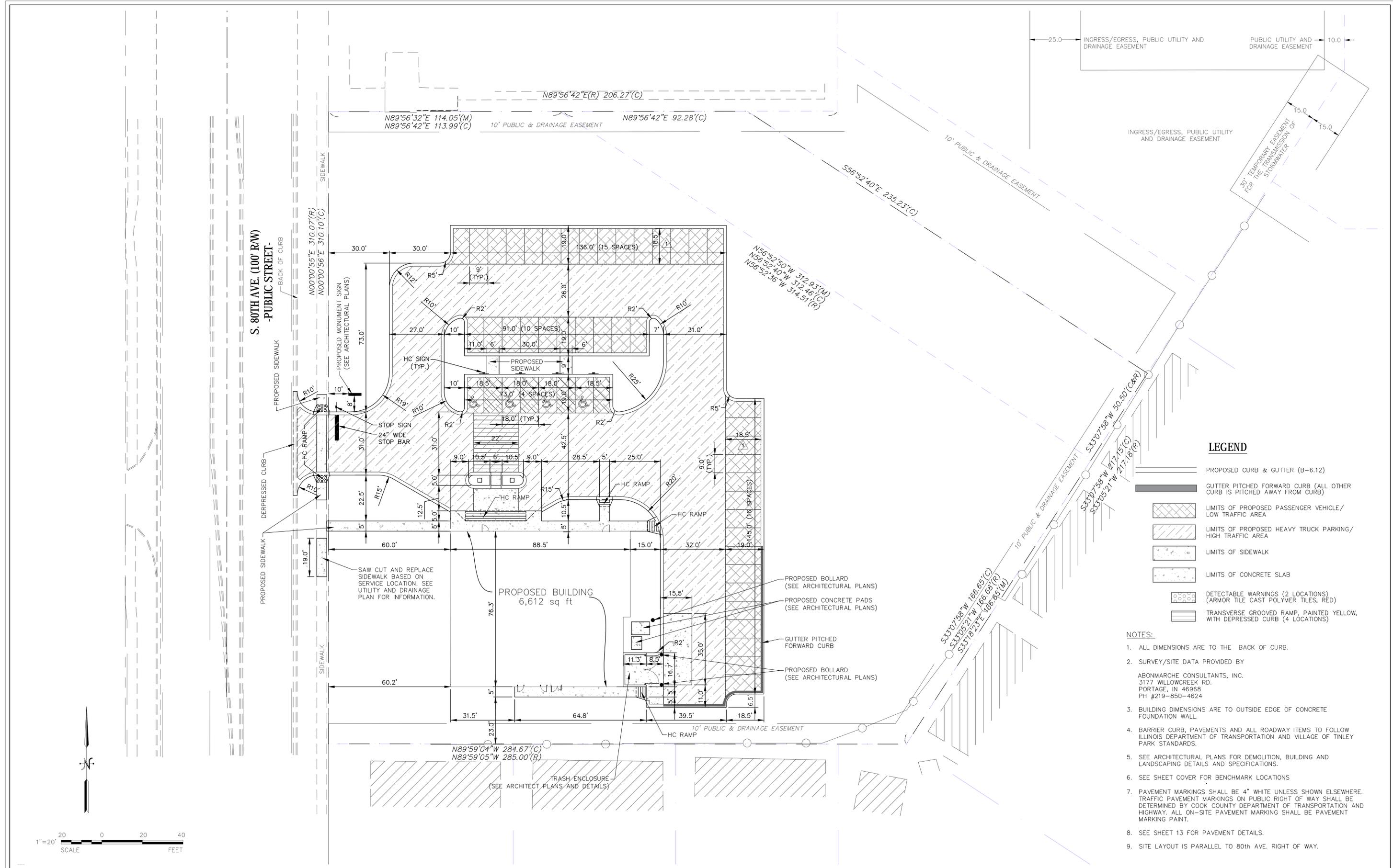
NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581	ENGR. AGM
FILE:	TECH. SH
DATE: 01/20/15	QAQC:

**MEDICAL BUILDING  
SITE WORK  
TINLEY PARK, ILLINOIS**

**GENERAL NOTES AND LEGEND**

K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development 14-581.dwg, 2/27/2015 10:28:18 AM, DWG To PDF.pc3

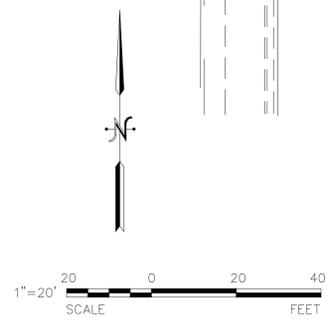


**LEGEND**

- PROPOSED CURB & GUTTER (B-6.12)
- GUTTER PITCHED FORWARD CURB (ALL OTHER CURB IS PITCHED AWAY FROM CURB)
- LIMITS OF PROPOSED PASSENGER VEHICLE/LOW TRAFFIC AREA
- LIMITS OF PROPOSED HEAVY TRUCK PARKING/HIGH TRAFFIC AREA
- LIMITS OF SIDEWALK
- LIMITS OF CONCRETE SLAB
- DETECTABLE WARNINGS (2 LOCATIONS) (ARMOR TILE CAST POLYMER TILES, RED)
- TRANSVERSE GROOVED RAMP, PAINTED YELLOW, WITH DEPRESSED CURB (4 LOCATIONS)

**NOTES:**

1. ALL DIMENSIONS ARE TO THE BACK OF CURB.
2. SURVEY/SITE DATA PROVIDED BY ABONMARCHÉ CONSULTANTS, INC. 3177 WILLOWCREEK RD. PORTAGE, IN 46968 PH #219-850-4624
3. BUILDING DIMENSIONS ARE TO OUTSIDE EDGE OF CONCRETE FOUNDATION WALL.
4. BARRIER CURB, PAVEMENTS AND ALL ROADWAY ITEMS TO FOLLOW ILLINOIS DEPARTMENT OF TRANSPORTATION AND VILLAGE OF TINLEY PARK STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR DEMOLITION, BUILDING AND LANDSCAPING DETAILS AND SPECIFICATIONS.
6. SEE SHEET COVER FOR BENCHMARK LOCATIONS
7. PAVEMENT MARKINGS SHALL BE 4" WHITE UNLESS SHOWN ELSEWHERE. TRAFFIC PAVEMENT MARKINGS ON PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY COOK COUNTY DEPARTMENT OF TRANSPORTATION AND HIGHWAY; ALL ON-SITE PAVEMENT MARKING SHALL BE PAVEMENT MARKING PAINT.
8. SEE SHEET 13 FOR PAVEMENT DETAILS.
9. SITE LAYOUT IS PARALLEL TO 80th AVE. RIGHT OF WAY.



**ESI CONSULTANTS, LTD**  
 1979 N. MILL STREET, SUITE 100  
 NAPERVILLE, IL 60563  
 (630) 429-1700  
 WWW.ESICONSULTANTS.LTD.COM  
 ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION REGISTRATION #184-003685

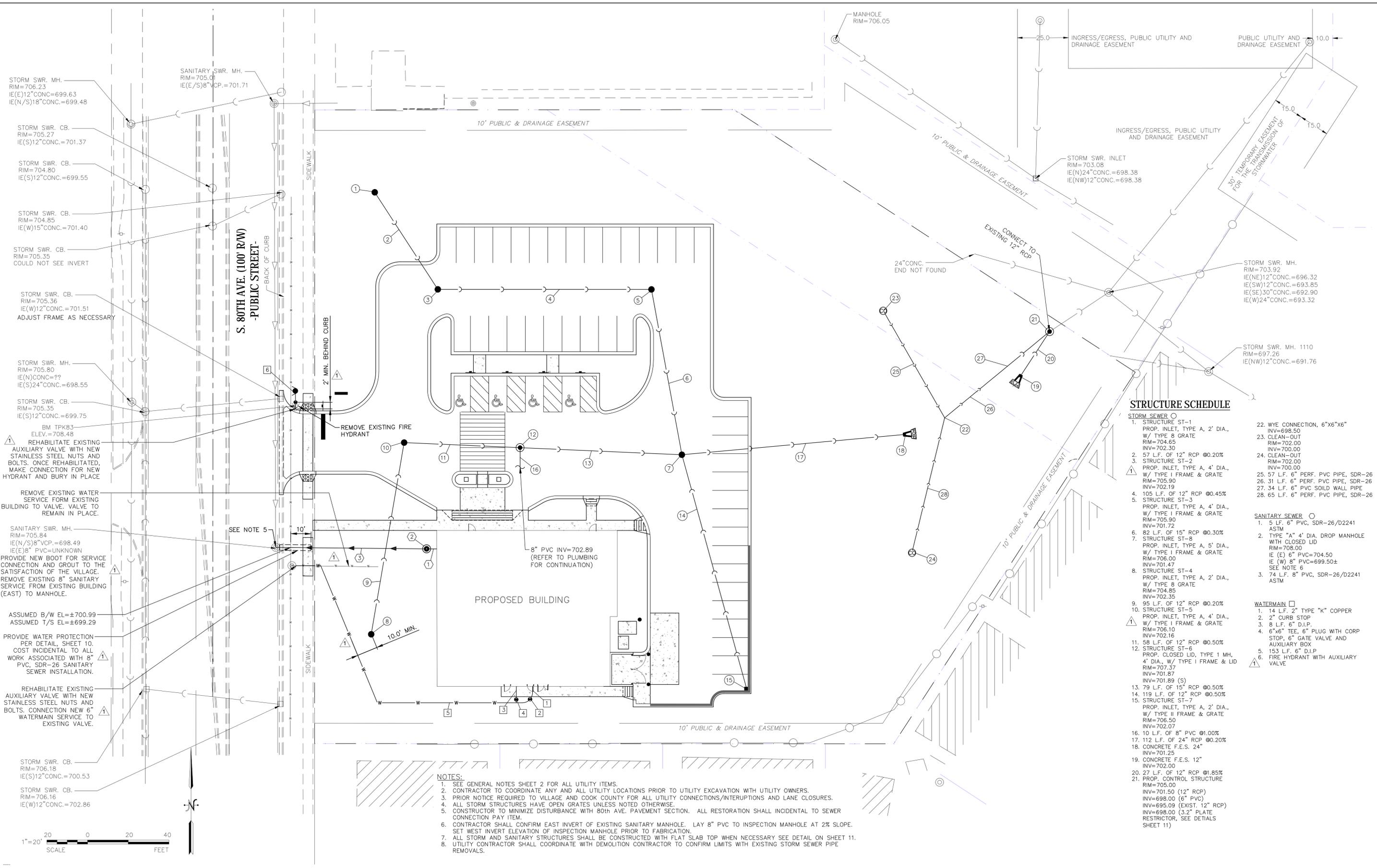
NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581  
 ENGR. AGM  
 FILE:  
 TECH. SH  
 DATE: 01/20/15  
 QAQC:

**MEDICAL BUILDING  
 SITE WORK  
 TINLEY PARK, ILLINOIS**

**SITE PLAN**

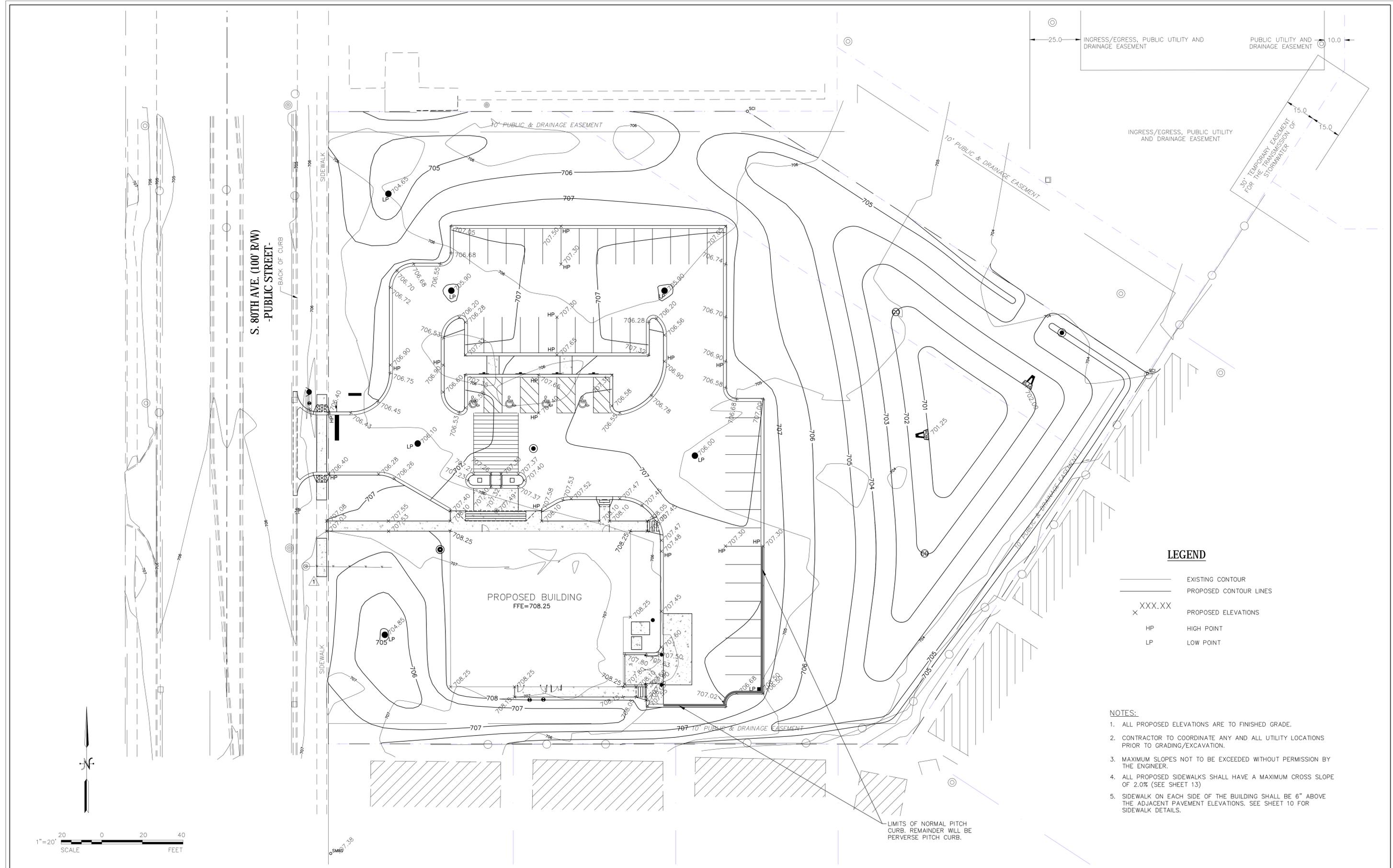
K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development\14-581.dwg, 2/27/2015 10:24:02 AM, DWG To PDF.pc3



NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581  
ENGR. AGM  
FILE:  
TECH. SH  
DATE: 01/20/15  
QAQC:

K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development\14-581.dwg, 2/27/2015 9:30:27 AM, DWG To PDF.pc3

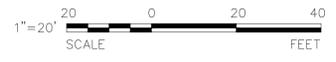


**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR LINES
- x XXX.XX PROPOSED ELEVATIONS
- HP HIGH POINT
- LP LOW POINT

**NOTES:**

1. ALL PROPOSED ELEVATIONS ARE TO FINISHED GRADE.
2. CONTRACTOR TO COORDINATE ANY AND ALL UTILITY LOCATIONS PRIOR TO GRADING/EXCAVATION.
3. MAXIMUM SLOPES NOT TO BE EXCEEDED WITHOUT PERMISSION BY THE ENGINEER.
4. ALL PROPOSED SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% (SEE SHEET 13)
5. SIDEWALK ON EACH SIDE OF THE BUILDING SHALL BE 6" ABOVE THE ADJACENT PAVEMENT ELEVATIONS. SEE SHEET 10 FOR SIDEWALK DETAILS.



**ESI CONSULTANTS, LTD**  
 1979 N. MILL STREET, SUITE 100  
 NAPERVILLE, IL 60563  
 (630) 428-1700  
 WWW.ESICONSULTANTS.LTD.COM  
 ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION REGISTRATION #184-003685

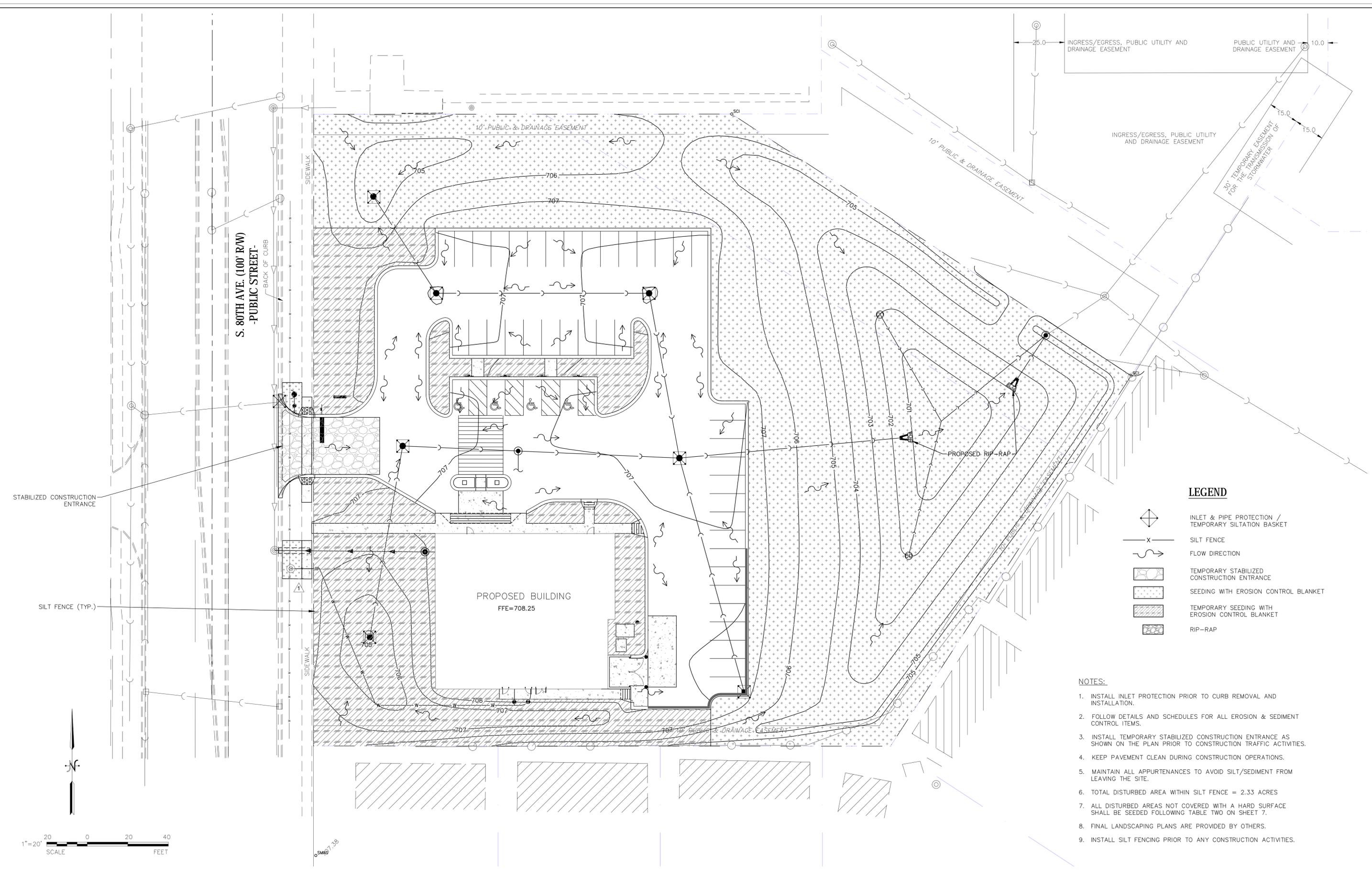
NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581	ENGR. AGM
FILE:	TECH. SH
DATE: 01/20/15	QAQC:

**MEDICAL BUILDING  
 SITE WORK  
 TINLEY PARK, ILLINOIS**

**GRADING PLAN**

K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development 14-581.dwg, 2/27/2015 9:29:09 AM, DWG To PDF.pc3



STABILIZED CONSTRUCTION ENTRANCE

SILT FENCE (TYP.)

S. 80TH AVE. (100' R/W)  
-PUBLIC STREET-  
BACK OF CURB

PROPOSED BUILDING  
FFE=708.25

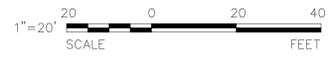
PROPOSED RIP-RAP

**LEGEND**

- INLET & PIPE PROTECTION / TEMPORARY SILTATION BASKET
- SILT FENCE
- FLOW DIRECTION
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- SEEDING WITH EROSION CONTROL BLANKET
- TEMPORARY SEEDING WITH EROSION CONTROL BLANKET
- RIP-RAP

**NOTES:**

1. INSTALL INLET PROTECTION PRIOR TO CURB REMOVAL AND INSTALLATION.
2. FOLLOW DETAILS AND SCHEDULES FOR ALL EROSION & SEDIMENT CONTROL ITEMS.
3. INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PRIOR TO CONSTRUCTION TRAFFIC ACTIVITIES.
4. KEEP PAVEMENT CLEAN DURING CONSTRUCTION OPERATIONS.
5. MAINTAIN ALL APPURTENANCES TO AVOID SILT/SEDIMENT FROM LEAVING THE SITE.
6. TOTAL DISTURBED AREA WITHIN SILT FENCE = 2.33 ACRES
7. ALL DISTURBED AREAS NOT COVERED WITH A HARD SURFACE SHALL BE SEEDED FOLLOWING TABLE TWO ON SHEET 7.
8. FINAL LANDSCAPING PLANS ARE PROVIDED BY OTHERS.
9. INSTALL SILT FENCING PRIOR TO ANY CONSTRUCTION ACTIVITIES.



**ESI** CONSULTANTS, LTD  
 1979 N. MILL STREET, SUITE 100  
 NAPERVILLE, IL 60563  
 (630) 429-1700  
 WWW.ESICONSULTANTS.LTD.COM  
 ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION REGISTRATION #184-003685

NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581  
 ENGR: AGM  
 FILE:  
 TECH: SH  
 DATE: 01/20/15  
 QAQC:

**MEDICAL BUILDING  
 SITE WORK  
 TINLEY PARK, ILLINOIS**

**STORMWATER POLLUTION  
 PREVENTION**

DRAWING NO.  
**6**  
 of 13

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY SEEDING									▶			
EROSION CONTROL BLANKET												▶
PERMANENT SEEDING									▶			
DORMANT SEEDING		▶										
SODDING						▶						

**CONTRACTOR'S CERTIFICATION**

I HEREBY CERTIFY, UNDER PENALTY OF LAW, THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION

CONTRACTOR'S CERTIFICATION

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

COMPANY \_\_\_\_\_

WITNESSED BY OWNER

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

COMPANY \_\_\_\_\_

SUB-CONTRACTOR

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

COMPANY \_\_\_\_\_

SUB-CONTRACTOR

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

COMPANY \_\_\_\_\_

TABLE ONE.  
SEED MIXTURES FOR TEMPORARY SEEDING  
REMAINING IN PLACE FOR LESS THAN ONE YEAR

Seed	Rate pounds/acre	*ED	Soil Drainage WD	SP	PD	Planting Period
Timothy	5		X	X	X	Spring
Kentucky Blue Grass	5		X	X		Spring/Fall
With one of the following:						
Oats	90					Early spring - July 1st.
Cereal rye	90					Early spring - October 15th.
Spring or winter wheat	90					Early spring - October 15th.
Spring planting - early Spring to June 15th Fall planting - August 1st to October 15th						

\*ED = excessively drained; WD = well drained; SP = somewhat poorly drained; PD = poorly drained

TABLE TWO.  
SEED MIXTURES FOR TEMPORARY OR PERMANENT SEEDING  
REMAINING IN PLACE FOR MORE THAN ONE YEAR

Mix	Seed	Rate pounds/acre	*ED	Soil Drainage WD	SP	PD	Planting Period
1	Tall fescue	24	X	X	X		Spring/Fall/Dormant
2	Smooth brome	24	X	X			Spring/Fall/Dormant
3	Tall fescue or Smooth Brome and alfalfa	24 8	X	X			Spring/Dormant
4	Tall fescue and Timothy or Red top	14.5 3	X	X	X	X	Spring/Fall/Dormant
5	Tall fescue and Red top and Alsike clover	14.5 3 9.5		X	X		Spring
6	Orchard grass and Alsike or Ladino clover	7 3.5		X			Spring
7	Timothy and Alsike or Ladino clover	4 8		X	X	X	Spring
Hayland Mixtures							
8	Alfalfa	12		X			Spring/Dormant
9	Alfalfa and Orchard grass	8 4		X			Spring/Dormant
10	Alfalfa and Timothy	8 4		X	X	X	Spring/Dormant
11	Alfalfa and Tall fescue or Smooth Brome	8 6		X	X		Spring/Dormant
With one of the following:							
A	Oats	30					Early spring - July 1st.
B	Cereal rye	30					Early spring - October 15th.
C	Spring or winter wheat	20					Early spring - October 15th.
Spring planting - early Spring to June 15th Fall planting - August 1st to October 15th							

\*ED = excessively drained; WD = well drained; SP = somewhat poorly drained; PD = poorly drained

**NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITS FOR CONSTRUCTION SITE STORM WATER DISCHARGES**

- ILLINOIS ENVIRONMENTAL PROTECTION AGENCY HAS ISSUED AN NPDES GENERAL PERMIT (NO. ILR10) FOR DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES. MAJOR FEATURES OF THE ILLINOIS PERMIT ARE:
- THE PERMIT CAN AUTHORIZE ALL DISCHARGES OF STORM WATER FROM CONSTRUCTION SITES ANYWHERE IN ILLINOIS REGARDLESS OF SIZE.
- THE PERMIT REQUIRES EACH CONSTRUCTION SITE TO HAVE A STORM WATER POLLUTION PREVENTION PLAN (EROSION AND SEDIMENTATION CONTROL PLAN) PRIOR TO THE START OF CONSTRUCTION.
- A COPY OF THE PLAN MUST BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE OF BEGINNING TO THE DATE OF FINAL STABILIZATION.
- PERMITEE IS REQUIRED TO HAVE QUALIFIED PERSONNEL INSPECT DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED, HAVE STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OF RAIN OR GREATER OR AN EQUIVALENT SNOWFALL.
- PERMITEE SHALL NOTIFY THE APPROPRIATE AGENCY FIELD OPERATIONS SECTION OFFICE BY EMAIL AT EPA.SWNONCOMP@ILLINOIS.GOV, TELEPHONE, OR FAX WITHIN 24 HOURS OF ANY INCIDENCE OF NONCOMPLIANCE FOR ANY VIOLATION OF THE STORM WATER POLLUTION PREVENTION PLAN OBSERVED DURING ANY INSPECTION CONDUCTED, OR FOR VIOLATIONS OF ANY CONDITION OF THIS PERMIT. THE PERMITEE SHALL COMPLETE AND SUBMIT WITHIN 5 DAYS AN "INCIDENT OF NONCOMPLIANCE" ("ION") REPORT FOR ANY OBSERVED VIOLATION OF THE PLAN. SUBMISSION SHALL BE ON "ION" FORM AND SHALL INCLUDE CAUSE OF NONCOMPLIANCE, ACTIONS TAKEN TO PREVENT FURTHER INCIDENTS OF NONCOMPLIANCE, AND A STATEMENT DETAILING ENVIRONMENTAL IMPACTS THAT MAY HAVE RESULTED FROM NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY AS DEFINED IN THE NPDES PERMIT NO. ILR10.
- THE STORM WATER POLLUTION PREVENTION PLAN, INSPECTION RECORDS AND RELATED INFORMATION SHALL BE RETAINED FOR AT LEAST THREE YEARS FROM THE DATE OF FINAL STABILIZATION.
- TO OBTAIN PERMIT COVERAGE, THE OPERATOR SHALL COMPLETE THE NOTICE OF INTENT ("NOI") FORM, SIGN IT, AND SEND THE ORIGINAL SIGNED COPY TO ILLINOIS EPA. UNLESS NOTIFIED BY THE AGENCY, PERMIT COVERAGE IS AUTOMATIC AND OPERATORS ARE AUTHORIZED TO DISCHARGE STORM WATER FROM THE SITE UNDER TERMS AND CONDITIONS OF THE PERMIT EITHER:
  - 48 HOURS AFTER DATE "NOI" IS POSTMARKED, IF HISTORIC PRESERVATION AND ENDANGERED SPECIES COMPLIANCE WAS ESTABLISHED PRIOR TO SUBMITTAL OF THE "NOI"
  - OR
  - 30 DAYS AFTER DATE "NOI" IS POSTMARKED, IF HISTORIC PRESERVATION AND ENDANGERED SPECIES COMPLIANCE WAS NOT ESTABLISHED PRIOR TO "NOI" SUBMITTAL.
- AFTER THE INITIAL CONTACT HAS BEEN MADE WITH THE APPROPRIATE FIELD OPERATIONS SECTION OFFICE, ALL REPORTS OF NONCOMPLIANCE SHALL BE MAILED TO THE AGENCY AT THE FOLLOWING ADDRESS:
 

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
DIVISION OF WATER POLLUTION CONTROL  
COMPLIANCE ASSURANCE SECTION  
1021 NORTH GRAND AVENUE EAST  
POST OFFICE BOX 19278  
SPRINGFIELD, ILLINOIS 62794-9278
- THE AGENCY WILL CONFIRM COVERAGE AND PERMIT NUMBER BY LETTER ABOUT ONE WEEK AFTER AUTOMATIC COVERAGE TAKES EFFECT. A COPY OF THE LETTER SHALL BE POSTED AT THE SITE IN A PROMINENT PLACE FOR PUBLIC VIEWING.
- AFTER LAND DISTURBING ACTIVITIES ARE COMPLETE AND SITE HAS BEEN FINALLY STABILIZED, OPERATOR SHALL TERMINATE PERMIT COVERAGE BY COMPLETING A NOTICE OF TERMINATION ("NOT") FORM AND SUBMITTING IT TO THE AGENCY. USEPA CONSIDERS A SITE FINALLY STABILIZED WHEN ALL LAND DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM PERENNIAL VEGETATION COVER OF 70% STABILIZATION HAS BEEN ESTABLISHED OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN USED.

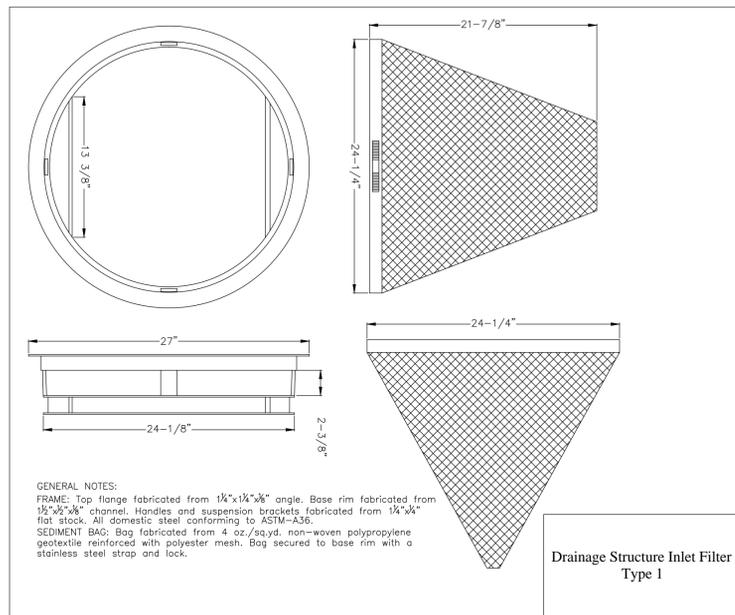
**STORMWATER POLLUTION PREVENTION**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE APPROVED STORMWATER POLLUTION PREVENTION PLAN AND THE FOLLOWING STANDARD SPECIFICATIONS:
  - A. THE ILLINOIS URBAN MANUAL, USDA NATURAL RESOURCES CONSERVATION SERVICE (LATEST EDITION)
  - B. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION (LATEST EDITION)
- A COPY OF THE UP TO DATE STORMWATER POLLUTION PREVENTION PLAN AND SWPPP LOG BOOK SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY STORMWATER POLLUTION PREVENTION PLAN SHALL BE SUBMITTED BY THE CONTRACTOR TO THE OWNER FOR REVIEW BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STORMWATER POLLUTION CONTROL MEASURES NECESSARY TO PREVENT STORMWATER POLLUTION AS DETERMINED BY THE CITY.
- ADDITIONAL PERIMETER SILT FENCE MAY BE NEEDED IN AREAS NOT SHOWN ON PLANS. CONTRACTOR SHALL MONITOR LIMITS OF PROJECT ON A REGULAR BASIS TO DETERMINE IF SUCH AREAS EXIST AND INSTALL ADDITIONAL SILT FENCE AS NEEDED.
- RUNOFF FROM DISTURBED AREAS SHALL NOT LEAVE THE SITE WITHOUT FIRST PASSING THROUGH STORMWATER POLLUTION PREVENTION MEASURES OR DEVICES.
- ALL STORMWATER POLLUTION PREVENTION MEASURES ARE TO BE IN PLACE BEFORE ANY EARTH DISTURBANCE BEGINS ON THE SITE.
- ALL STORMWATER POLLUTION PREVENTION MEASURES AND DEVICES SHALL BE INSPECTED OR AFTER ONE-HALF INCH OR MORE OF RAINFALL AND EVERY 7 DAYS AND REPAIRED OR REPLACED TO KEEP THE MEASURES AND DEVICES FUNCTIONING PROPERLY.
- EXCEPT AS PROVIDED IN PARAGRAPHS (A) AND (B) BELOW, THE SURFACE OF STRIPPED AREAS SHOULD BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
  - (A) WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - (B) WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.
- STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS (AGGREGATE, LIMESTONE, ETC.) TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE FURNISHED WITH STORMWATER POLLUTION PREVENTION MEASURES. STOCKPILES OF SOIL TO REMAIN IN PLACE FOR MORE THAN 60 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- ALL STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTERING DEVICES DURING CONSTRUCTION.
- WATER DISCHARGED DURING CONSTRUCTION DEWATERING SHALL BE FILTERED AND DISCHARGED USING MEASURES OR DEVICES TO DISSIPATE ENERGY AND REDUCE THE EROSION POTENTIAL OF THE DISCHARGE.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO PREVENT SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY. IF CONDITIONS ARE SUCH THAT THE MAJORITY OF SOIL IS NOT REMOVED WHEN VEHICLES TRAVEL OVER THE COARSE AGGREGATE, VEHICLE WASH DOWN FACILITIES SHALL BE PROVIDED.

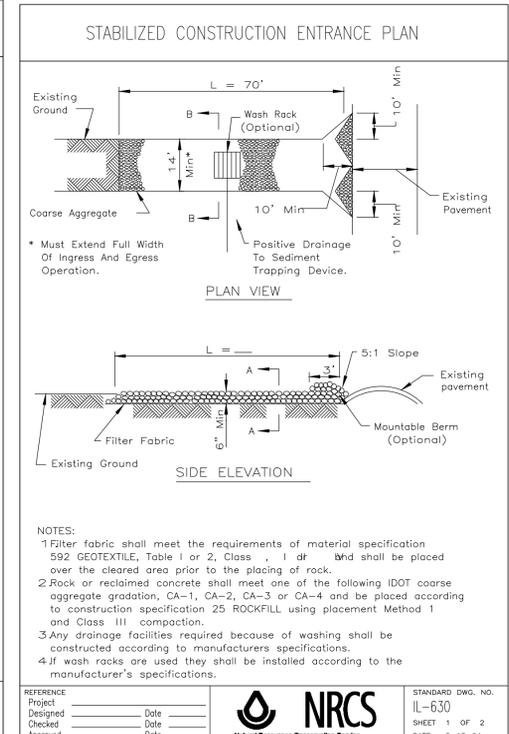
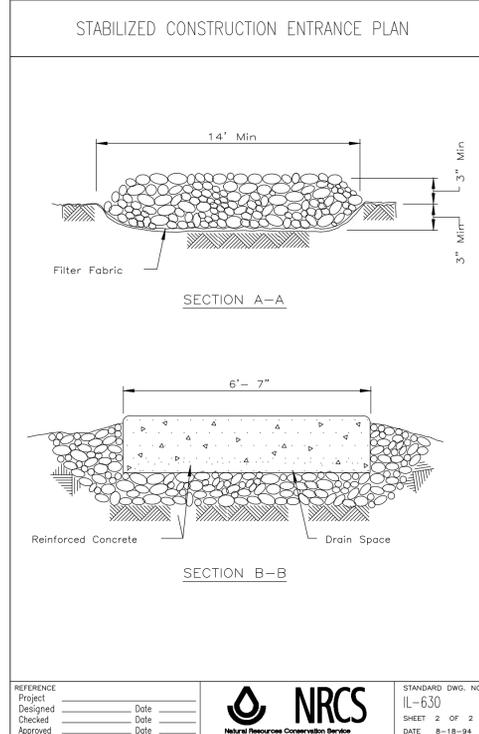
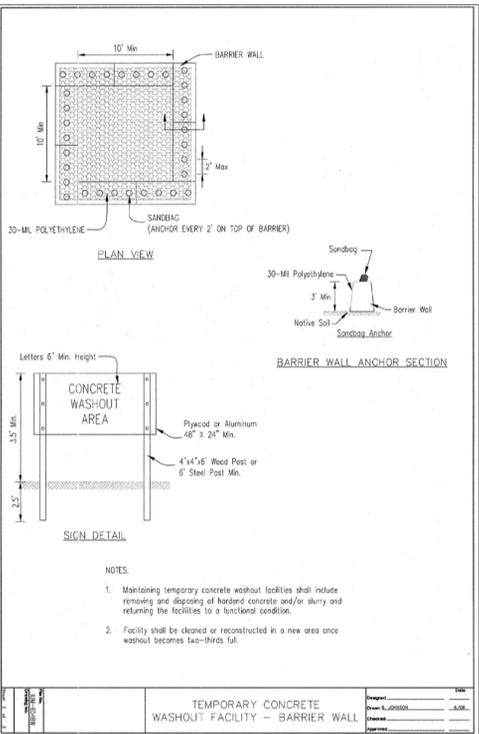
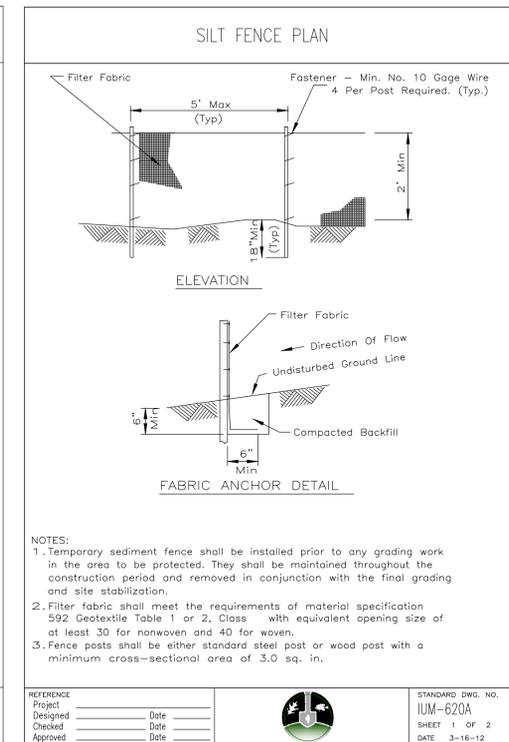
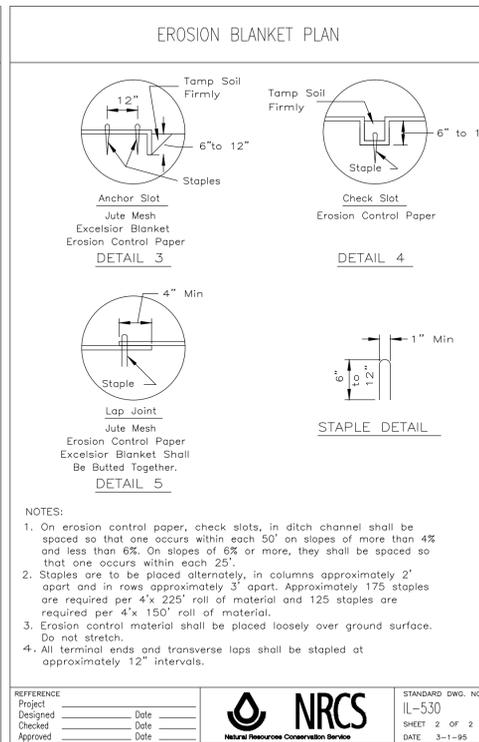
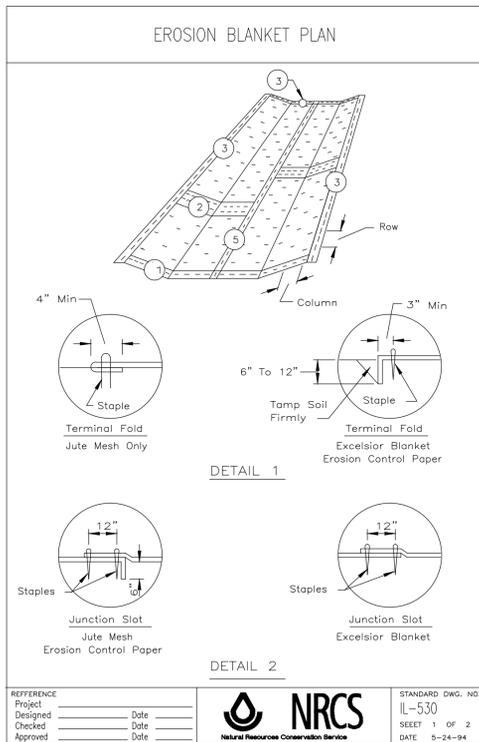
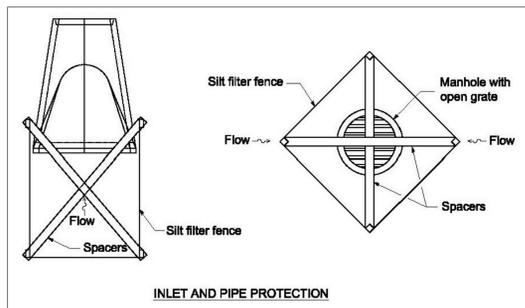
NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581	ENGR. AGM
FILE:	TECH. SH
DATE: 01/20/15	QAQC:

K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development\14-581.dwg, 2/26/2015 6:46:53 PM, DWG To PDF.pc3

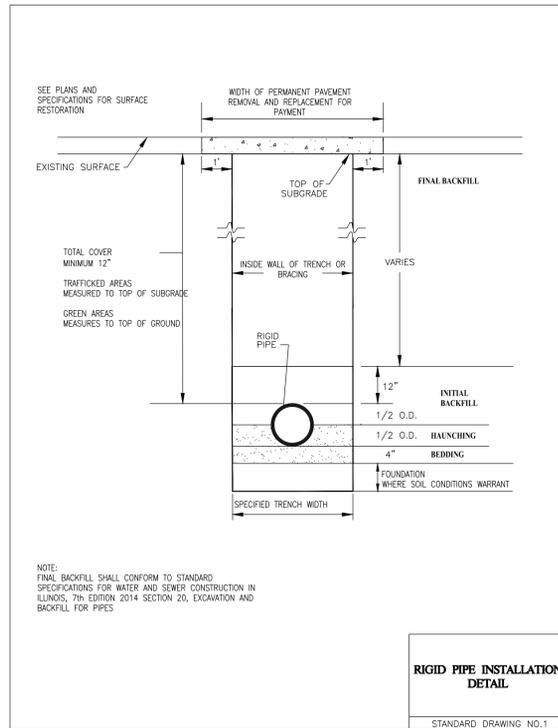


TEMPORARY SILTATION BASKET INSTALLATION BETWEEN FRAME & GRATE

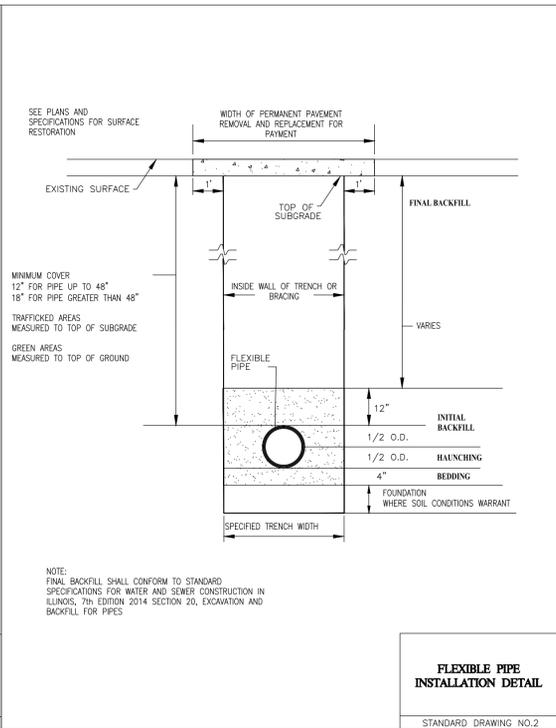


NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

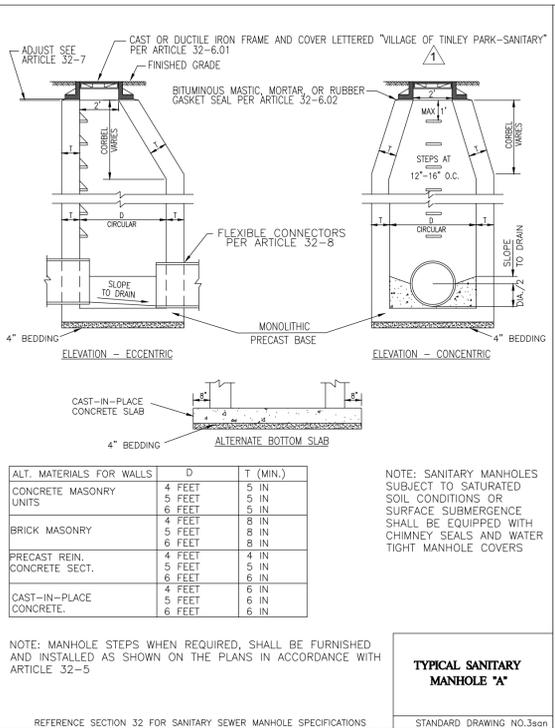
ESI PROJECT NO. 14-581	ENGR. AGM
FILE:	TECH. SH
DATE: 01/20/15	QAQC:



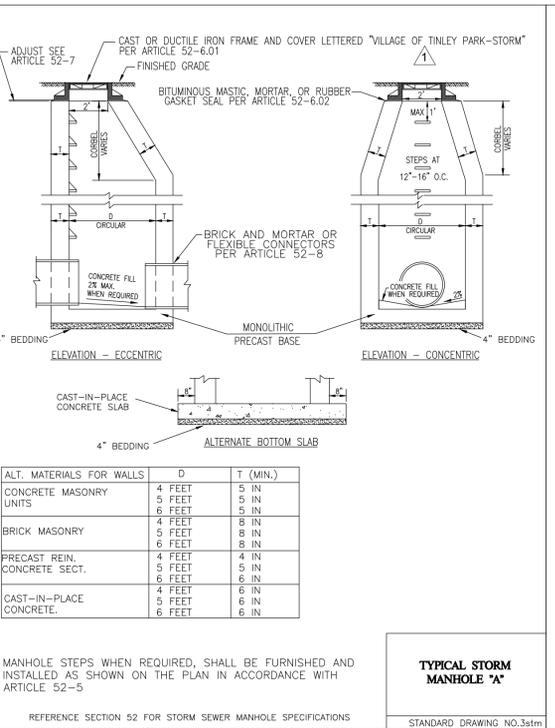
**RIGID PIPE INSTALLATION DETAIL**  
STANDARD DRAWING NO.1



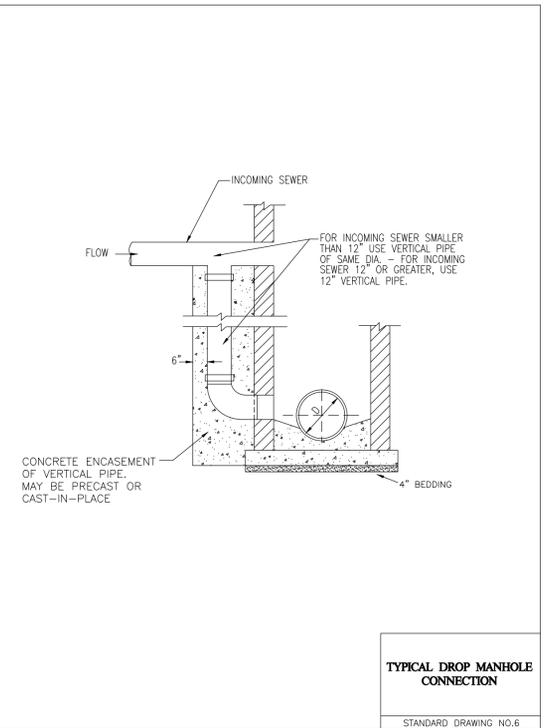
**FLEXIBLE PIPE INSTALLATION DETAIL**  
STANDARD DRAWING NO.2



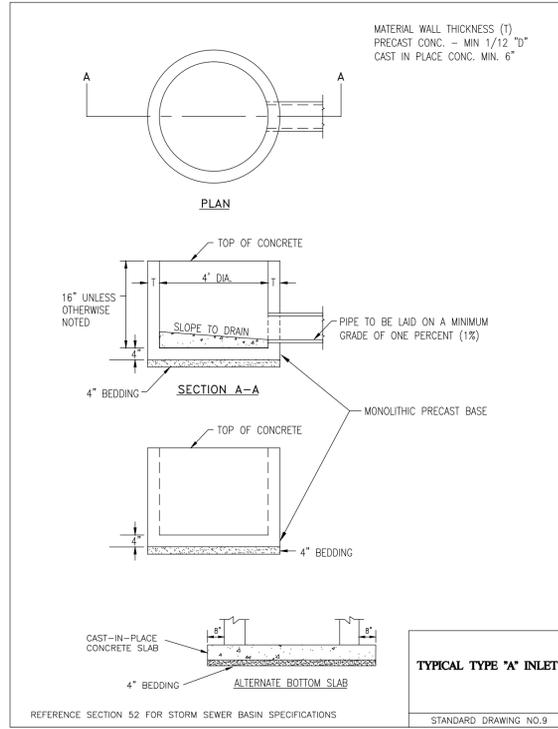
**TYPICAL SANITARY MANHOLE 'A'**  
STANDARD DRAWING NO.3a



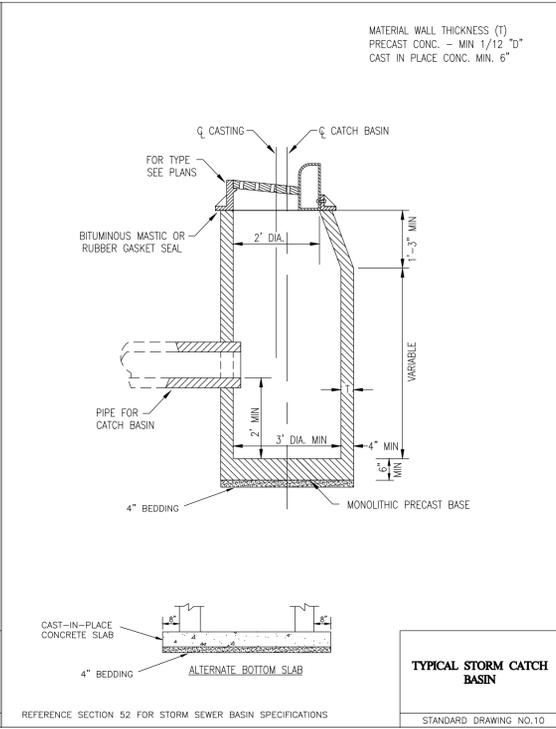
**TYPICAL STORM MANHOLE 'A'**  
STANDARD DRAWING NO.3a



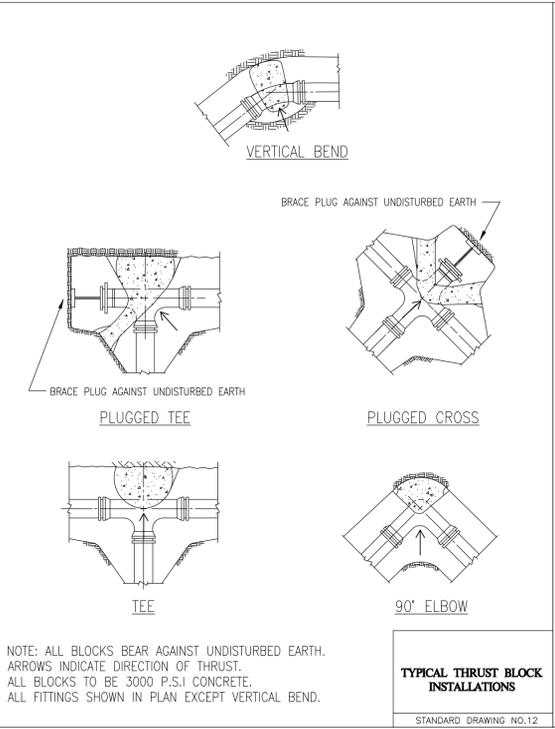
**TYPICAL DROP MANHOLE CONNECTION**  
STANDARD DRAWING NO.6



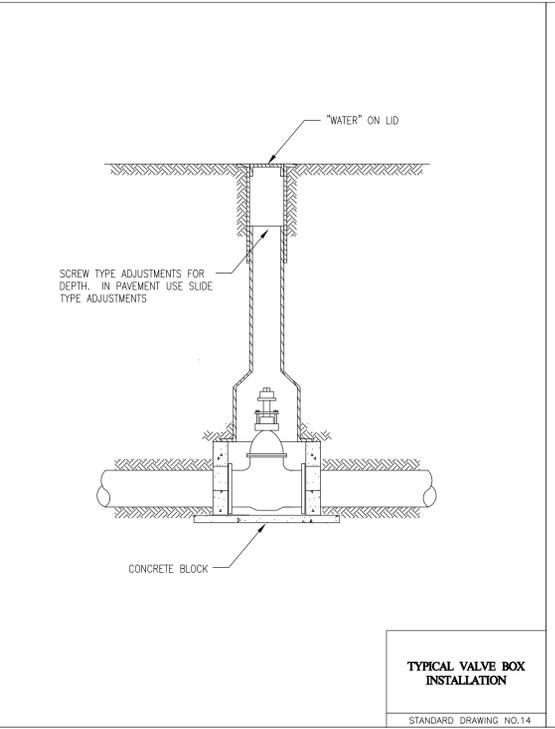
**TYPICAL TYPE 'A' INLET**  
STANDARD DRAWING NO.9



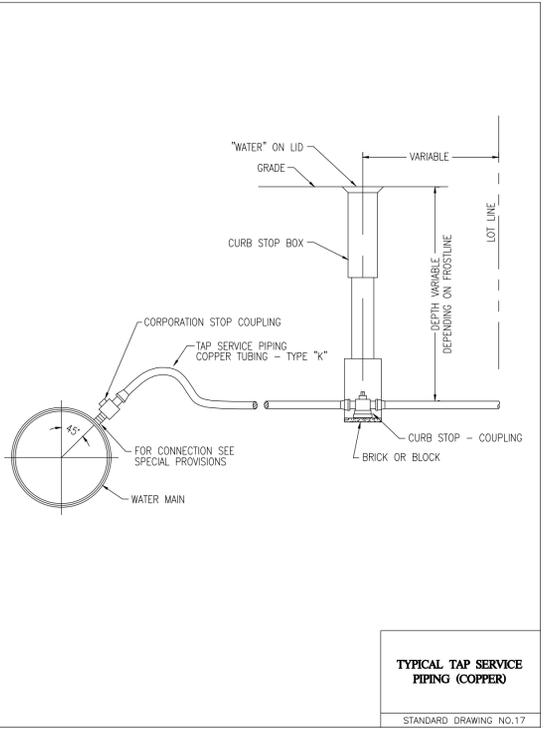
**TYPICAL STORM CATCH BASIN**  
STANDARD DRAWING NO.10



**TYPICAL THRUST BLOCK INSTALLATIONS**  
STANDARD DRAWING NO.12



**TYPICAL VALVE BOX INSTALLATION**  
STANDARD DRAWING NO.14



**TYPICAL TAP SERVICE PIPING (COPPER)**  
STANDARD DRAWING NO.17

NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581	ENGR. AGM
FILE:	TECH. SH
DATE: 01/20/15	QAQC:

PROPOSED WATER MAIN ABOVE EXISTING SEWER LINE WITH LESS THAN 18" VERTICAL SEPARATION

NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

SEE GUIDELINE #1  
PROPOSED WATER MAIN  
FOR CASING SEE GUIDELINES #3  
LESS THAN 18"  
SEE GUIDELINES #2  
SEE GUIDELINES #1  
EXISTING SEWER LINE

NOTE: "S" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING SEWER LINE.

**GUIDELINES**

1. OMIT SELECT GRANULAR EMBEDMENT AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF WATER MAIN AND USE SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT THE LENGTH OF "L".
2. IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT.
3. USE "L" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED WATER MAIN AND SEAL ENDS OF CASING.
4. POINT LOADS SHALL NOT BE ALLOWED BETWEEN WATER MAIN CASING AND SEWER

**WATER AND SEWER SEPARATION REQUIREMENTS**

**VERTICAL SEPARATION**

STANDARD DRAWING NO.22

PROPOSED SEWER LINE BELOW EXISTING WATER MAIN WITH LESS THAN 18" MINIMUM VERTICAL SEPARATION.

NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

EXISTING WATER MAIN  
EXISTING BACKFILL  
LESS THAN 18"  
PROPOSED SEWER SEE GUIDELINES #2A  
FOR CASING SEE GUIDELINES #2B  
"L"

NOTE: "S" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING WATER MAIN

**GUIDELINES**

1. OMIT SELECT GRANULAR EMBEDMENT AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF SEWER AND USE SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT FOR "S" FEET ON EACH SIDE OF WATER MAIN.
2. A) CONSTRUCT "L" FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR;  
B) USE "L" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.
3. PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH

**WATER AND SEWER SEPARATION REQUIREMENTS**

**VERTICAL SEPARATION**

STANDARD DRAWING NO.21

PROPOSED SEWER LINE BELOW EXISTING WATER MAIN WITH 18" MINIMUM VERTICAL SEPARATION.

EXISTING WATER MAIN  
EXISTING BACKFILL  
18" MINIMUM  
PROPOSED SEWER  
"L"

**GUIDELINES**

1. PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

**WATER AND SEWER SEPARATION REQUIREMENTS**

**VERTICAL SEPARATION**

STANDARD DRAWING NO.20

PROPOSED SEWER LINE WITH 18" MINIMUM VERTICAL SEPARATION ABOVE EXISTING WATER MAIN

NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

PROPOSED OR EXISTING SEWER LINE  
PROPOSED SEWER SEE GUIDELINES #3A  
FOR CASING SEE GUIDELINES #3B  
18" MIN  
SEE GUIDELINES #1  
EXISTING WATER MAIN  
"L"

NOTE: "S" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING WATER MAIN

**GUIDELINES**

1. IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF PROPOSED SEWER TRENCH AND REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT
2. OMIT SELECT GRANULAR EMBEDMENT AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF SEWER AND USE SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT THE LENGTH OF "L" FEET.
3. A) CONSTRUCT "L" FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR;  
B) USE "L" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.

**WATER AND SEWER SEPARATION REQUIREMENTS**

**VERTICAL SEPARATION**

STANDARD DRAWING NO.19

WHEN PROPOSED SEWER (OR WATER) IS LOCATED 10 FEET OR MORE FROM EXISTING WATER (OR SEWER), NO SPECIAL CONSTRUCTION REQUIRED. SEE ARTICLE 41-2.01A (1)

10' HORIZONTAL  
PROPOSED OR EXISTING SEWER LINE  
PROPOSED OR EXISTING WATER MAIN  
PLAN VIEW

WHEN PROPOSED SEWER (OR WATER) IS LOCATED LESS THAN 10 FEET FROM EXISTING WATER (OR SEWER), DETAILS BELOW SHALL APPLY. SEE ARTICLE 41-2.01B (2)

< 10'  
18" MINIMUM  
PROPOSED OR EXISTING WATER MAIN  
UNDISTURBED SOIL  
PROPOSED OR EXISTING SEWER LINE  
"L"

**WATER AND SEWER SEPARATION REQUIREMENTS**

**HORIZONTAL SEPARATION**

STANDARD DRAWING NO.18

OWNERS STANDARD OR EQUAL CONFORMING TO A.W.W.A. SPECIFICATIONS  
18" TO 24"  
TO CONFORM TO MANUFACTURER'S SPECIFICATIONS  
FOR DEPTH OF BURY SEE PLANS AND SPECIFICATIONS  
INSTALL LAYER OF FILTER FABRIC OVER DRAIN FIELD  
DRAIN FIELD TO BE AS SPECIFIED  
HYDRANT DRAIN OPENING  
PROVIDE CONCRETE BASE AND THRUST BLOCKING AGAINST UNDISTURBED EARTH. DO NOT OBSTRUCT BOLTS.  
THRUST BLOCKING MAY BE ELIMINATED IF ALL UNDERGROUND JOINTS ARE FULLY RESTRAINED BACK TO AND INCLUDING THE WATER MAIN

NOTE: CONCRETE BASE AND BLOCKING MATERIAL SHALL NOT BLOCK NOR OBSTRUCT HYDRANT DRAIN AS SHOWN IN AWWA MANUAL M 17

**TYPICAL HYDRANT INSTALLATION**

STANDARD DRAWING NO.11

PLACEMENT OF WATER MAIN BELOW EXISTING OR PROPOSED SEWER LINE WITH LESS THAN 18" MINIMUM VERTICAL SEPARATION. **NOT ALLOWED.**

EXISTING OR PROPOSED SEWER LINE  
LESS THAN 18"  
WATER MAIN  
NOT ALLOWED\*  
MUST MAINTAIN 18" VERTICAL SEPARATION

**WATER AND SEWER SEPARATION REQUIREMENTS**

**VERTICAL SEPARATION**

STANDARD DRAWING NO.24

PROPOSED WATER MAIN BELOW EXISTING SEWER LINE WITH 18" MINIMUM VERTICAL SEPARATION.

NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

EXISTING SEWER LINE  
18" MINIMUM  
FOR CASING SEE GUIDELINES #4  
"L"

NOTE: "S" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING SEWER LINE

**GUIDELINES**

1. OMIT SELECT GRANULAR EMBEDMENT AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF WATER MAIN AND USE SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT THE LENGTH OF "L".
2. IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT.
3. PROVIDE ADEQUATE SUPPORT FOR EXISTING SEWER LINE TO PREVENT DAMAGE DUE TO SETTLEMENT.
4. USE "L" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED WATER MAIN AND SEAL ENDS OF CASING.

**WATER AND SEWER SEPARATION REQUIREMENTS**

**VERTICAL SEPARATION**

STANDARD DRAWING NO.23

NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581	ENGR. AGM
FILE:	TECH. SH
DATE: 01/20/15	QAQC:

**FRAME AND GRATE TYPE 11**  
STANDARD 604051-04

DATE	REVISIONS
1-1-15	Revised dimensions of frame and alternate curb box.
4-1-09	Switched units to English metrics.

**PRECAST REINFORCED CONCRETE FLAT SLAB TOP**  
STANDARD 602601-03

DATE	REVISIONS
1-1-14	Revised details for fitting hole or fitting loop.
1-1-09	Switched units to English metrics.

**PRECAST REINFORCED CONCRETE FLARED END SECTION**  
STANDARD 542301-03

DATE	REVISIONS
1-1-11	Clarified ref. to pipe dia. on Section A-A, changed "minor" to "major" pipe ref.
1-1-09	Switched units to English metrics.

**RIP RAP DETAIL (DISCHARGE TO POND)**  
01-31-12

DATE	REVISIONS
01-31-12	Final design.

**GRATE TYPE 8**  
STANDARD 604038-03

DATE	REVISIONS
1-1-15	Revised dimensions.
1-1-09	Switched units to English metrics.

**FRAME AND LIDS TYPE 1**  
STANDARD 604001-03

DATE	REVISIONS
1-1-09	Switched units to English metrics.
1-1-04	Removed weights.

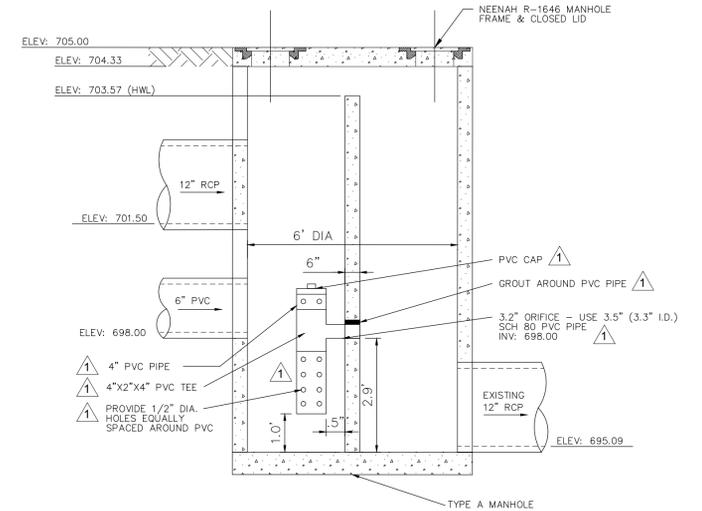
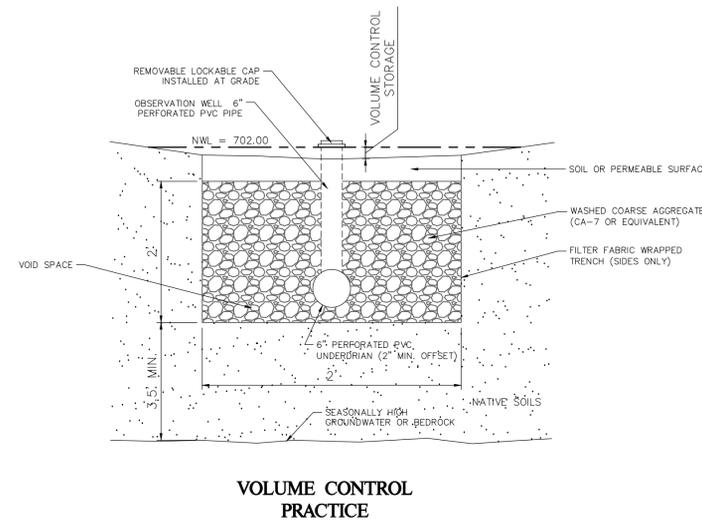
NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581  
ENGR. AGM  
FILE:  
TECH. SH  
DATE: 01/20/15  
QAQC:

**MEDICAL BUILDING  
SITE WORK  
TINLEY PARK, ILLINOIS**

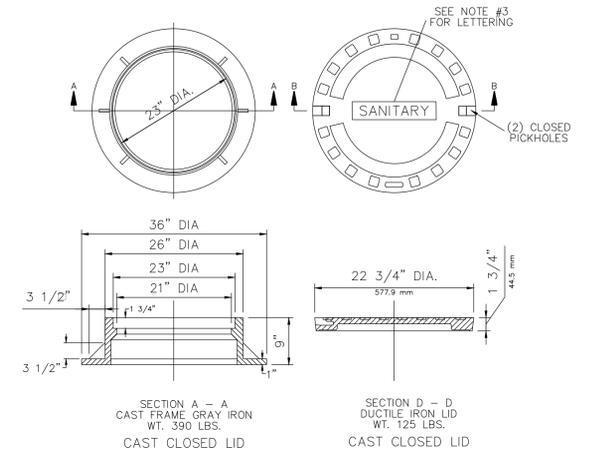
**UTILITY DETAILS**

K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development\14-581.dwg, 2/27/2015 10:22:55 AM, DWG To PDF.pc3



- NOTES:
1. MANHOLES MUST CONFORM TO ASTM C-478.
  2. MANHOLE SECTION TO BE TONGUE AND GROOVED.
  3. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
  4. MORTAR ALL PIPE PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.
  5. IN "SUBMERGED" CONDITIONS, ALL PIPE PENETRATIONS TO BE CORED, RUBBER BOOTED, AND INTERIOR MORTARED.
  6. REINFORCED CONCRETE Baffle WALL WITH #4 @ 12" EACH WAY.
  7. SIZE OF FLAT SLAB TOP AND REINFORCEMENT SHALL BE CONSISTENT WITH IDOT STANDARD 602416-03, EXCEPT PROVIDE TWO 24" OPENINGS AS SHOWN ABOVE.
  8. BEDDING STONE SHALL BE 4" MIN. WASHED GRAVEL.
  9. ALL PVC PIPE AND FITTINGS SHALL BE SCH 80 TO PROVIDE PROPER ORIFICE DIAMETER.

**CONTROL STRUCTURE**



- NOTES:
1. DUCTILE IRON CASTING SHALL BE GRADE 60-40-18 AND SHALL BE TESTED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS.
  2. ALL LIDS AND COVERS SHALL BE MACHINED.
  3. MANHOLE COVERS SHALL HAVE RAISED LETTERS "VILLAGE OF TINLEY PARK" AND "WATER" OR "SANITARY" AS APPROPRIATE.
  4. AS AN ALTERNATE TO DUCTILE IRON LID, GRAY IRON MAY BE USED.
  5. MINIMUM WEIGHTS FOR THE CASTING AS SHOWN.
  6. DIMENSIONS FOR CASTINGS ARE COMPARABLE TO EAST JORDAN #R-1524-B AND NEENAH B-1712 TYPE D.
  7. LIDS AND GRATES WHERE PRACTICAL SHALL COMPLY WITH NPDES PHASE II BEST MANAGEMENT PRACTICES THROUGH APPROPRIATE FACIAL MARKINGS.

**TYPE 1 FRAME & LID  
NEENAH TYPE D**

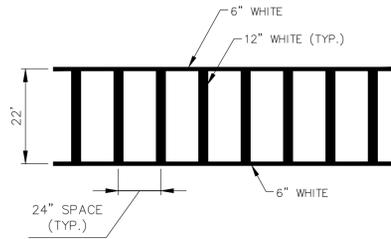
**ESI** CONSULTANTS, LTD  
 1979 N. MILL STREET, SUITE 100  
 NAPERVILLE, IL 60563  
 (630) 420-1700  
 WWW.ESICONCONSULTANTS.LTD.COM  
 ILLINOIS DEPARTMENT OF PROFESSIONAL REGULATION REGISTRATION #184-003685

NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581      ENGR. AGM  
 FILE:                                      TECH. SH  
 DATE: 01/20/15                        QAQC:

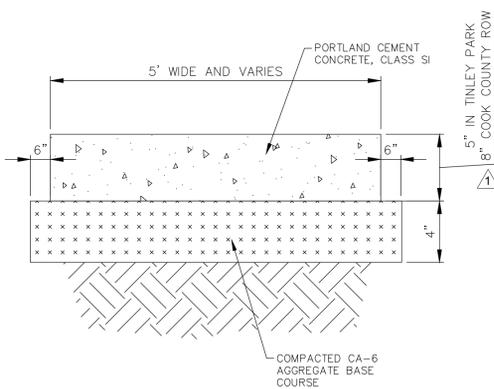
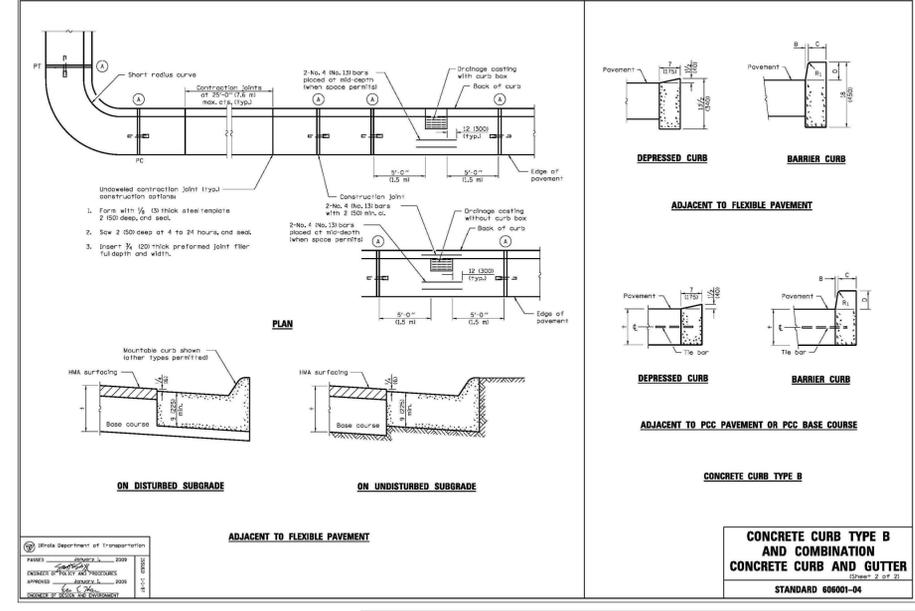
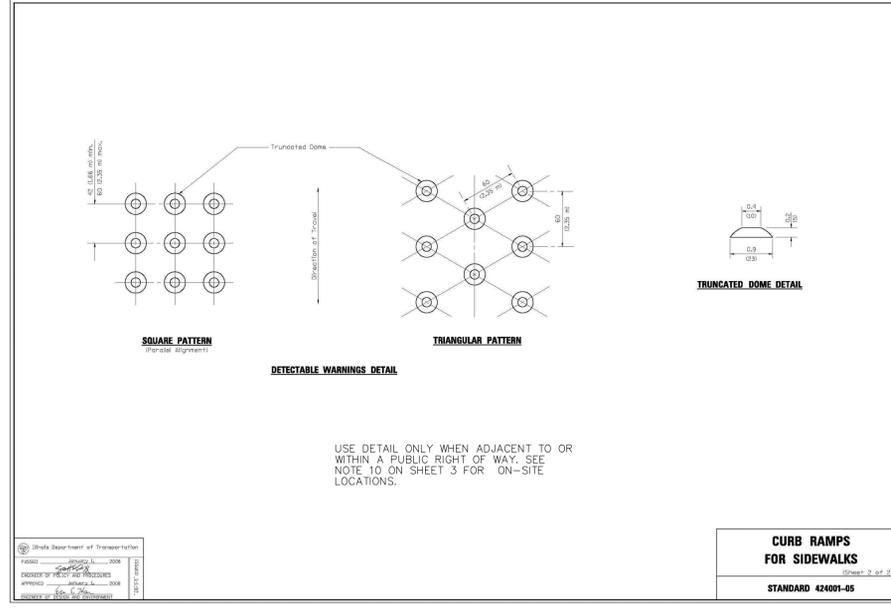
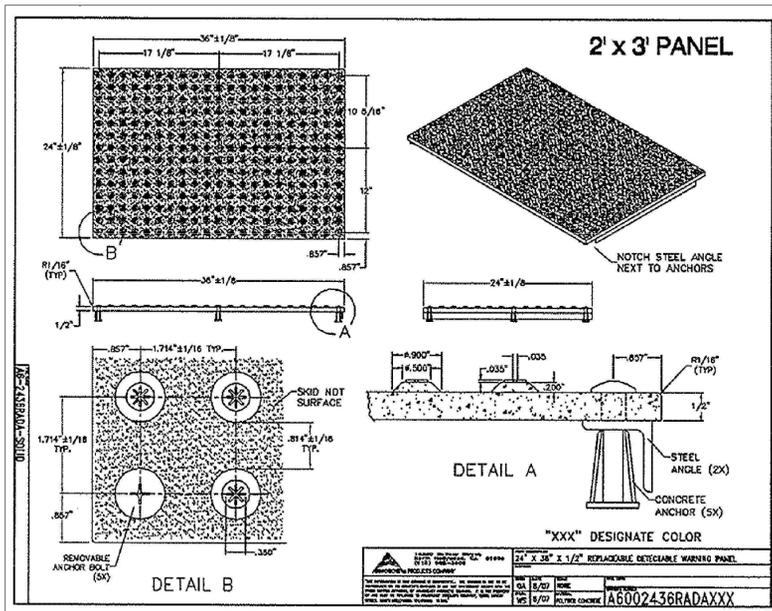
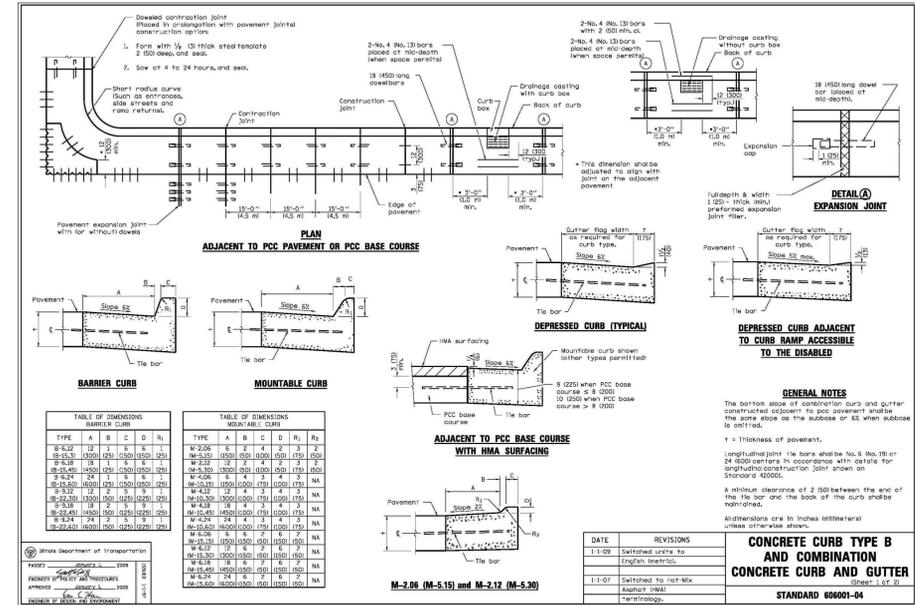
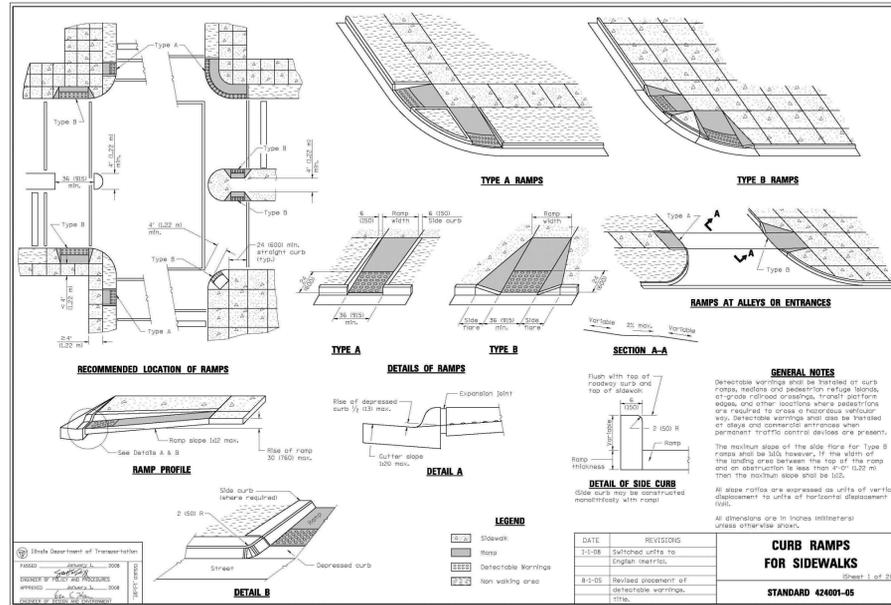
**MEDICAL BUILDING  
SITE WORK  
TINLEY PARK, ILLINOIS**

**UTILITY DETAILS**



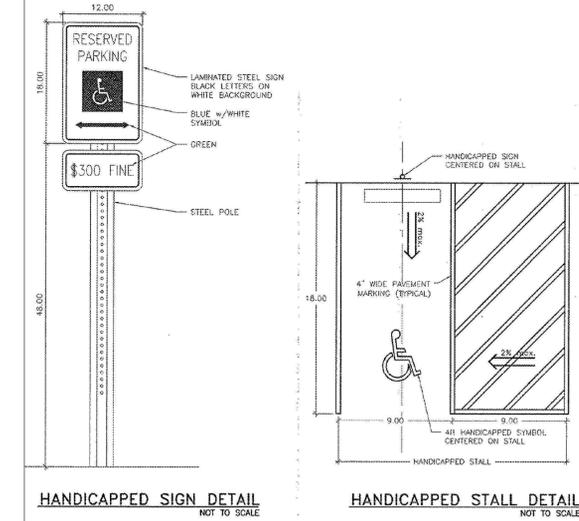
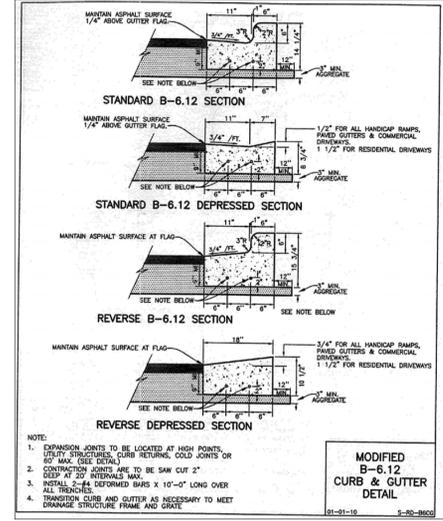
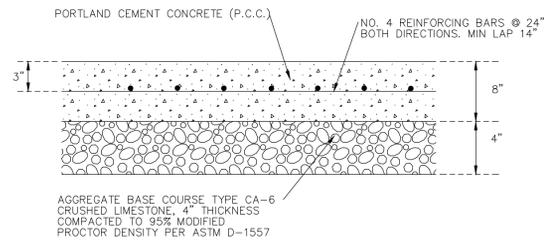
TYPICAL SPACING DETAIL FOR CROSSWALKS

ALL MARKINGS TO BE PAVEMENT MARKING PAINT



PAVEMENT SECTION

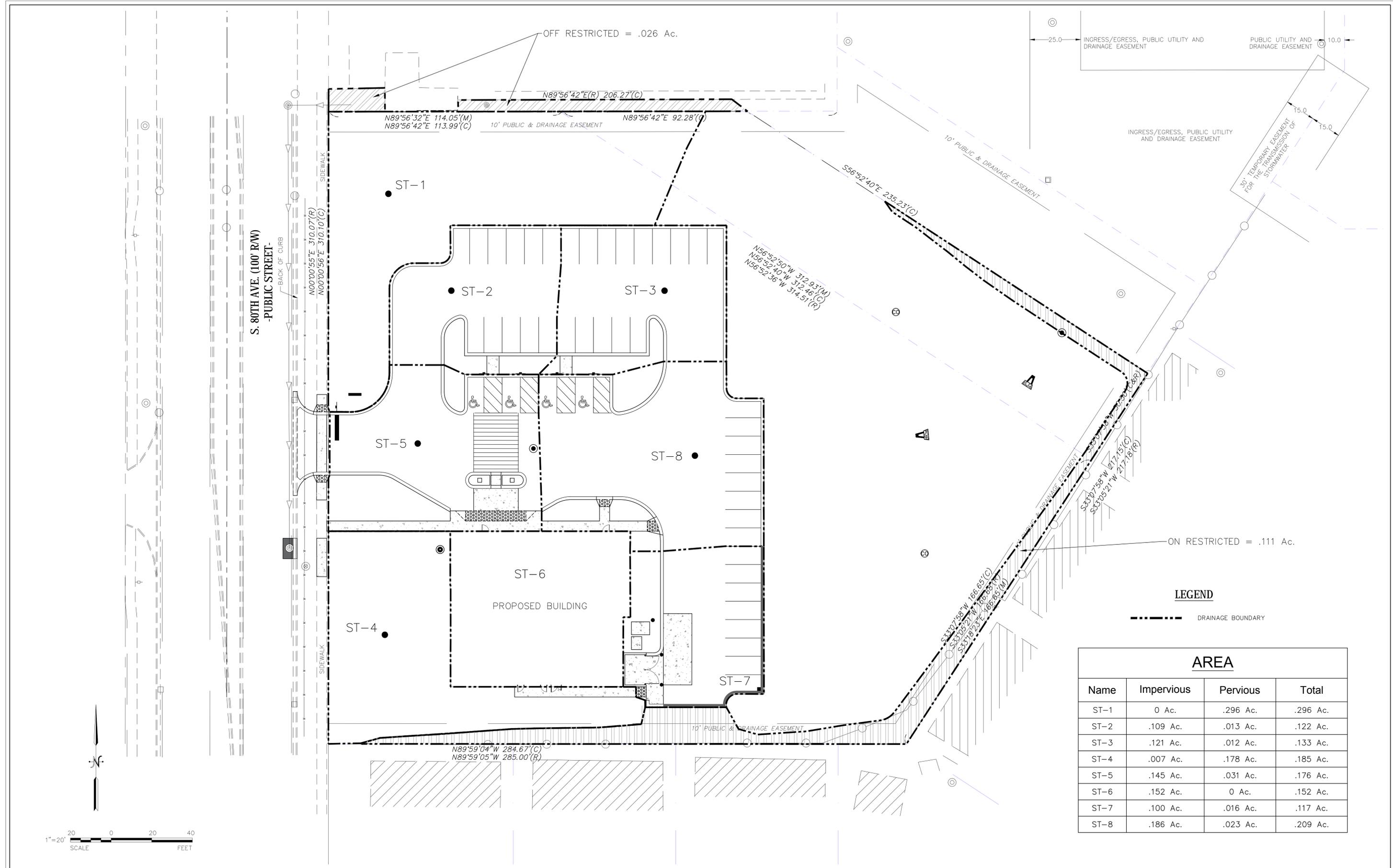
SURFACE/MATERIAL	LIGHT DUTY PAVEMENT		HEAVY DUTY PAVEMENT
	1.5"	2.5"	2.0"
1 HOT-MIX ASPHALT SURFACE COURSE, MIX D, N50, 4% @ 50 GYR	1.5"	2.5"	2.0"
2 HOT-MIX ASPHALT BINDER COURSE, MIX D, N50, 4% @ 50 GYR	1.5"	2.5"	4.0"
3 AGGREGATE BASE COURSE TYPE CA-6 COMPACTED TO 95%	8.5"	12"	12"



NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581 ENGR. AGM  
FILE: TECH: SH  
DATE: 01/20/15 QAQC:

K:\Projects\Oman-Gibson Associates\Tinley Park\CADD\Drawings\Sheets\Site Development 14-581.dwg, 2/26/2015 6:43:11 PM, DWG To PDF.pc3



AREA			
Name	Impervious	Pervious	Total
ST-1	0 Ac.	.296 Ac.	.296 Ac.
ST-2	.109 Ac.	.013 Ac.	.122 Ac.
ST-3	.121 Ac.	.012 Ac.	.133 Ac.
ST-4	.007 Ac.	.178 Ac.	.185 Ac.
ST-5	.145 Ac.	.031 Ac.	.176 Ac.
ST-6	.152 Ac.	0 Ac.	.152 Ac.
ST-7	.100 Ac.	.016 Ac.	.117 Ac.
ST-8	.186 Ac.	.023 Ac.	.209 Ac.



NO.	DATE	DESCRIPTION OF REVISIONS	NO.	DATE	DESCRIPTION OF REVISIONS
1	02-27-15	PER VILLAGE COMMENTS			

ESI PROJECT NO. 14-581 ENGR. AGM  
 FILE: TECH. SH  
 DATE: 01/20/15 QAQC: